

1/22/21
CIC #6237
\$260



Zoning Board of Appeals

Town of Southington

Municipal Center, 196 North Main Street, Southington, CT 06489 (860) 276-6248

Date Submitted: 1/22/21

APPLICATION

Appeal No.: 6488A

Fee: See fee schedule

Owner name and mailing address: (please print)

EAST QUEEN LLC
5200 Buffington RD
Atlanta GA 30349

Telephone (860) 276-0500

Email 03753@chick-fil-a.com

Address of Property: 801 Queen St Southington, CT 06489-1507

Applicant name and mailing address: (please print)

Mike Hartman
801 Queen St
Southington, CT 06489-1507

Telephone (860) 276-0500

Email 03753@chick-fil-a.com

Assessor's Map # 181025 Parcel # _____ Volume _____ Page _____

Type of Application: (check one):

*Special Exception *Variance _____ Appeal Ruling of Zoning Enforcement Officer Dated: _____

Other (specify) _____

Zone: _____ Zoning Regulation(s): _____

Nature and Description of Application: Zoning Variance for a Front Easement

For variance application, describe how the zoning regulations impose an exceptional difficulty or undue hardship on this property. Please describe all potential difficulties or hardships (you may continue on the back of the form):

This project is an installation of an employee-protection weather shelter structure. The work consists of minor changes to the electrical systems to provide a heater during the inclement weather. The shelter was placed there in response to the COVID-19 pandemic with the safety of the team members in mind. Our restaurant remains extremely busy during the pandemic, with the same volume that was served prior to the pandemic through the Drive Thru and in-restaurant service now being served completely through the Drive Thru. By allowing the team members to work outside, it promotes social distancing which is difficult to practice inside the restaurant. It also protects them from the weather.

Are the premises within 500' of an adjacent municipality? _____

This appeal relates to: Use Area Yards Height Setback Signs Accessory Building

Gasoline Station/Repair Motor Vehicles Sale of Alcohol Other (specify) _____

Signature of Applicant/Owner/Agent James Weschler
(please print) James Weschler

Please include 5 copies of a plot plan (Class A-2 survey) unless waived by the Zoning Enforcement Officer.

An approval of a special exception or variance by the ZBA only becomes effective after proper notice has been published by the Town and the applicant has filed a copy of his/her approval letter with the Town Clerk on the land records (Sect. 8-7 of the Connecticut General Statutes). The applicant must submit the Volume & Page number of the filing on the Land Records to the Planning Department when applying for a subsequent land use permit or Zoning Permit.

PLANNING STAFF ONLY

Hearing Date: 2/9/21 Received by: gme Sign: Will pick up sign
P:\P & Z forms\zba application.doc



Jan 25, 2021

Zoning Board of Appeals
Town of Southington
196 North Main Street,
Southington, CT 06489 (860) 276-6248

Letter of Authority

To whom it may concern:

This letter is an authorization for Scout Services & Pam Kearney to be able to apply for and obtain the Zoning Variance and/or permit on behalf of Chick-fil-A, which are sent to your office for review and approval.

Signed by:

A handwritten signature in cursive that reads "James Weschler".

James Weschler
Restaurant Development — Facilities & Equipment
M 407.222.6960



From: Pam Kearney <pkearney@scoutservices.com>
Sent: Monday, January 25, 2021 3:43 PM
To: Sheila McDonald
Cc: Steve Brescia; David Lavalley
Subject: RE: Chick-fil-A #3753-801 Queen St -Info For 2/9 Meeting
Attachments: CFA DTS 3753 Dist to Prop Line (1-25-2021).pdf

EXTERNAL EMAIL: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sheila,

It is 32'-4" to the vertical column.
See attached drawing.

Pam

Pam
Kearney

302-318-1230

866-504-3888 x106

Scout Services

490 Quail Ridge Dr. Westmont. IL 60559

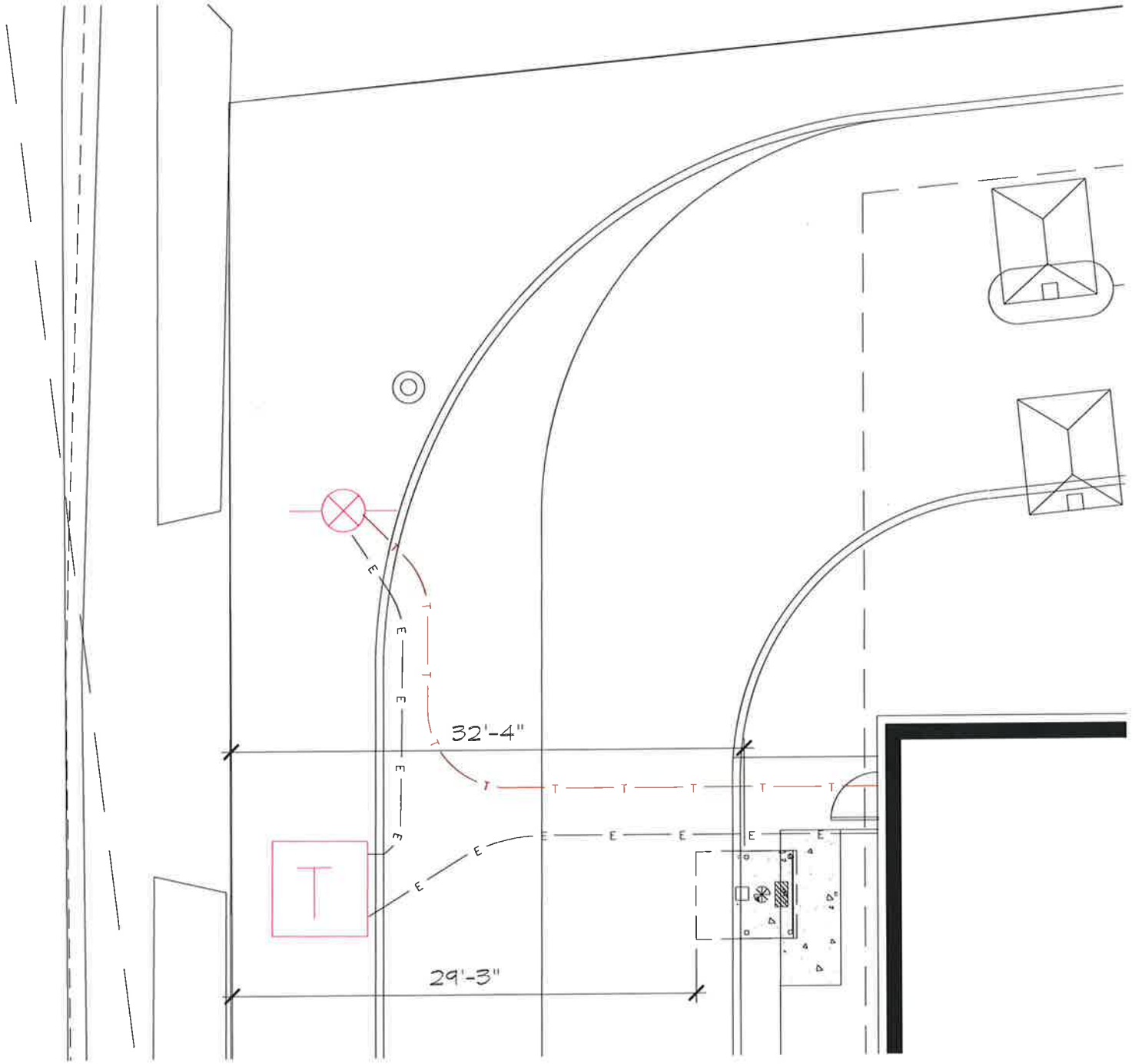


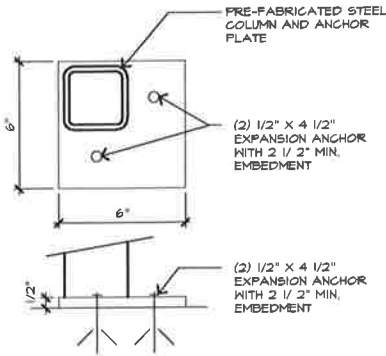
LICENSE. PERMIT. REGISTRATION.
WE GET IT.

FIND US ONLINE
Visit us at www.scoutservices.com

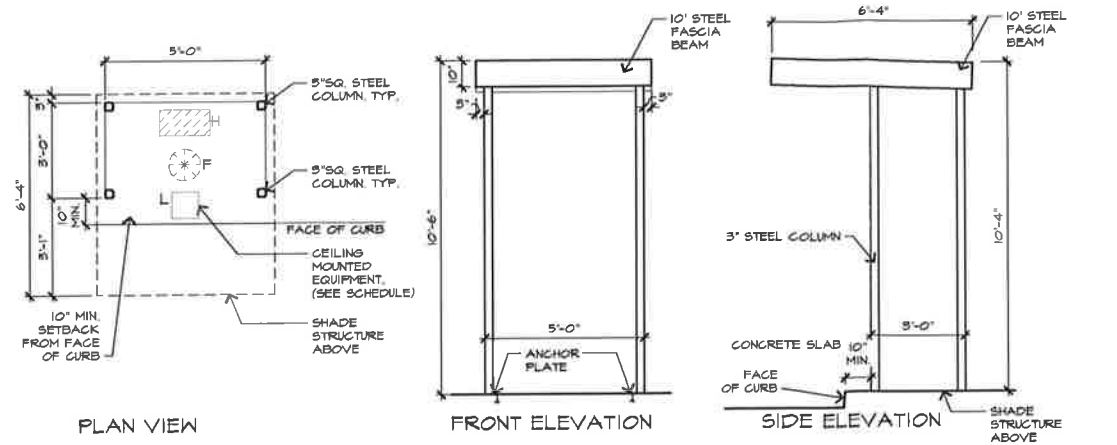
Check out our [blog](#)







3 ANCHOR PLATE
SCALE: 1" = 1'-0"
DT ANCHOR PLATE



4 DRIVE THRU SHELTER
SCALE: 3/8" = 1'-0"
DT SHELTER DETAIL

SYM.	QUANTITY	EQUIPMENT
L	1	LIGHT: MAXLITE CPL20AUC30B 1400347 LED EXTERIOR CANOPY LIGHT
F	1	FAN: AIRMASTER 12" DIAM CEILING MOUNTED FAN MODEL 1-12YM
H	1	HEATER: TPI CORP. FOSTORIA TTM 343-90-TH-86-208V OVERHEAD INFARED HEATER WITH THER

ALL EQUIPMENT SHALL BE INSTALLED AS CURRENT LOCAL AND STATE CODES

- 9 SITE PLAN KEYED NOTES**
- PROPOSED LOCATION OF NEW DRIVE THRU STEEL SHADE SHELTER. SEE DETAIL 4/A-1. SECURE TO CONCRETE SLAB. SEE DET. 5/A-1.
 - EXISTING RESTAURANT BUILDINGS TO REMAIN.
 - EXISTING VEHICLE DRIVE AISLE TO REMAIN.
 - EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
 - EXISTING PATHWAY TO BE REMOVED. PROVIDE NEW 5'-6" X 4'-4" CONCRETE PAD FLUSH WITH EXISTING CURBING. PROVIDE 3,000 PSI 6" THICK CONCRETE PAD WITH 6X6 - M 1.4 X M 1.4 WELDED WIRE FRAME. PROVIDE LIGHT BROOM FINISH, MATCH EXISTING NEIGHBORING GRADES.
 - EXISTING CONCRETE CURBS TO REMAIN. VERIFY EXISTING CONDITION OF CURB, REPLACE ANY DAMAGE OR BROKEN CURB TO LIKE NEW CONDITION.
 - EXISTING LANDSCAPING AREA TO REMAIN.
 - EXISTING TEAM MEMBER PATHWAY TO REMAIN.
 - EXISTING TEAM MEMBER PATHWAY TO REMAIN. PROVIDE NEW TEAM MEMBER PATHWAY AROUND SHELTER. PROVIDE MIN. 56" WIDTH CLEAR PATHWAY AT PROPOSED KIOSK.

PROJECT DATA

1. PROJECT NAME:	CHICK-FIL-A, #3753 SHELTER	
2. PROJECT ADDRESS:	801 QUEEN STREET SOUTHINGTON, CT 06489-1507	
3. PROJECT WORKSCOPE:	INSTALLATION OF PRE-FABRICATED STEEL FRAMED EMPLOYEE SHELTER AT EXISTING DRIVE-THRU.	
4. ZONING:	B ZONE	
5. PROPERTY AREA:	(11,566 SF) 1.77 ACRE	
6. BUILDING AREA:	SQ. FT.	OCCUPANCY
a. EXISTING BUILDING:	4,846 SF.	A-2 (EXISTING)
b. SHELTER:	15 SF.	U
7. TYPE OF CONSTRUCTION:	VB (EXIST. UN-CHANGED)	
a. EXISTING BUILDING:	IB	
b. SHELTER:		
8. BUILDING SETBACKS:		
a. FRONT:	40'-0" (QUEEN STREET)	
b. SIDE:	15'-0"	
c. REAR:	20'-0"	
d. SIDE:	15'-0"	
9. PARKING REQUIREMENTS:	EXISTING TO REMAIN NO CHANGE TO PARKING SPACES OR EXISTING DRIVE THRU LANES.	

GOVERNING CODES:

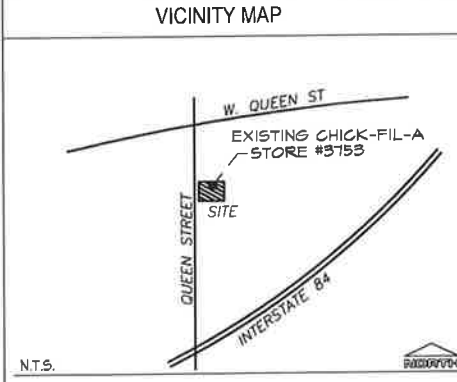
BUILDING:	2015 INTERNATIONAL BUILDING CODE W/ 2018 AMENDMENTS
MECHANICAL:	2015 INTERNATIONAL MECHANICAL CODE W/ 2018 AMENDMENTS
PLUMBING:	2015 INTERNATIONAL PLUMBING CODE W/ 2018 AMENDMENTS
ENERGY:	2004 INTERNATIONAL ENERGY CODE
ELECTRICAL:	2014 NATIONAL ELECTRICAL CODE W/ 2018 AMENDMENTS
FUEL / GAS:	2015 INTERNATIONAL FIRE AND GAS CODE W/ 2018 AMENDMENTS
FIRE:	2015 INTERNATIONAL FIRE CODE W/ 2018 AMENDMENTS
ACCESSIBLE:	2010 ADA

PROJECT DIRECTORY

OWNER: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GA 30344 D.J. HAMMOND DJHAMMOND@ctacorp.com (404) 765-8442	MECH. / PLUMB Interplan LLC 604 COURTLAND STREET SUITE 100 ORLANDO, FL 32804 BARB MARTIN Bmartin@interplanllc.com (407) 645-5008	STRUCTURAL: VENAIRE, LLC 404 N. WHEELING AVE TULSA, OK 74110 JEFFREY LYNN GRIFFIN
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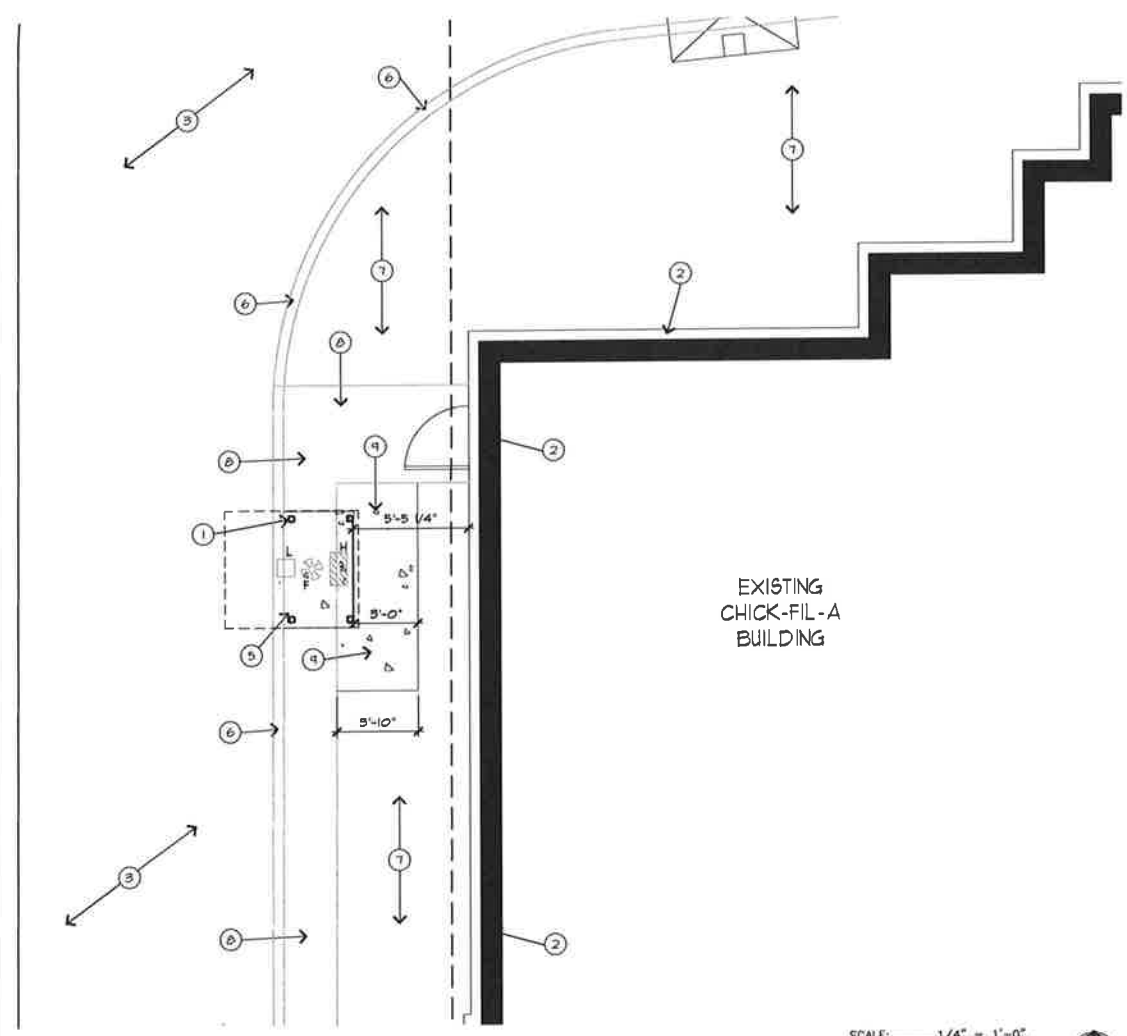
SHEET INDEX

A-0	PROJECT DATA & OVERALL SITE PLAN
A-1	STRUCTURAL ELEVATIONS AND DETAILS
E-1	BOOTH POWER & LIGHTING PLAN

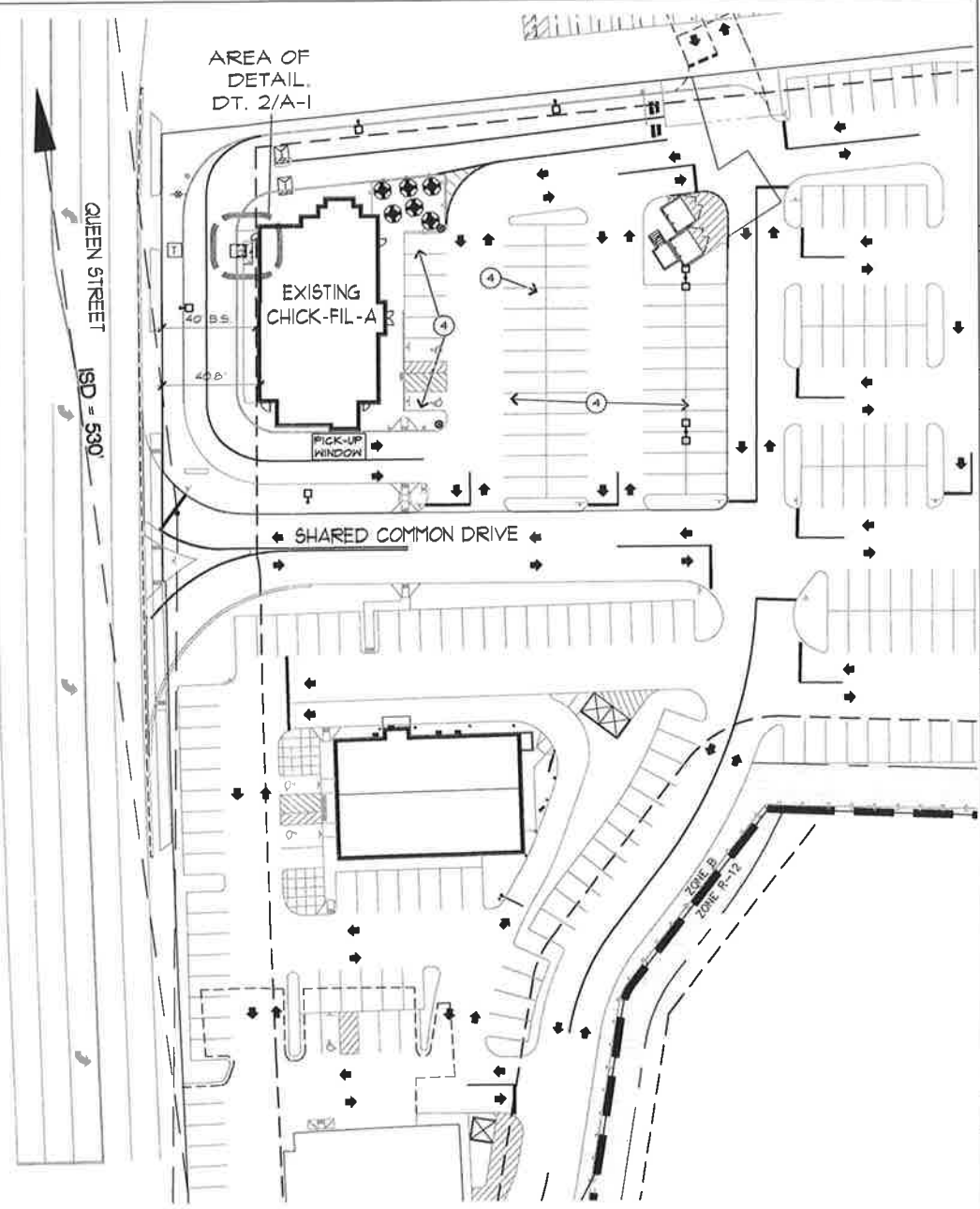
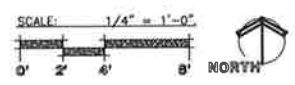


GENERAL NOTES

- PRIOR TO COMMENCEMENT OF CONSTRUCTION THE S.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
- GENERAL CONTRACTOR TO SECURE ELECTRICAL PERMIT WITH GOVERNING MUNICIPALITY FOR MINOR ELECTRICAL WORK.



2 ENLARGED SITE PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



1 OVERALL SITE PLAN
SCALE: N.T.S.



THESE PLANS AND SPECIFICATIONS, AS WELL AS CHICK-FIL-A INC. NAME AND LOGO, TRADEMARKS AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF CHICK-FIL-A CORPORATION. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT CHICK-FIL-A'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

Revision Schedule

Rev	Date	By	Description

Project Name: DRIVE THRU STRUCTURE PROGRAM
CHICK-FIL-A STORE #3753
801 QUEEN STREET
TOWN OF SOUTHINGTON,
HARTFORD, CT 06489-1507

Issue Date:	01-18-2021
Drawn By:	ES
Job Number:	20047

Sheet Title:
Project Data Overall Site Plan
Scale: As indicated

Sheet Number:
A-0