
February 9, 2021

Mr. Robert A. Phillips, MS/MPA, AICP
Director of Planning and Community Development
Southington Planning and Zoning Commission
196 North Main Street
Southington, CT 06489

**Re: Response to Review Comments
Livewell Alliance, Inc.
1261 South Main Street
Plantsville, Connecticut
SLR #141.16125.00002**

Dear Mr. Phillips,

SLR International Corporation (SLR) (formerly Milone & MacBroom, Inc.) is in receipt of an email with your comments regarding the above-referenced project. We offer the following responses to the comments contained therein:

- C1. Location Map needs surrounding zoning information.
- R1. Zoning information will be added to the final plans.**
- C2. Responsible party for ESCs must be on final approved plan and called out in bold on sheet SE-1.
- R2. The responsible party will be added to the final plans.**
- C3. Is a loading space necessary?
- R3. There is an existing loading dock at the rear of the building, which will remain.**
- C4. Parking landscaping calculation should be on the parking table on the cover sheet.
- R4. Parking lot landscaping calculations will be added to the final plans. Per Regulation 12-02.05, all parking lots shall contain landscaped area in the ratio of not less than 20 square feet for each parking space.**

Total surface parking spaces = 91 spaces

Total interior parking landscaping = 2,280 square feet

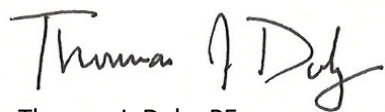
Provided landscape to parking ratio = $2,280/91 = 25$ square feet per space

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- C5. Access easement needed on southern property line for future connection potential.
- R5. Livewell does not believe that a future driveway connection is necessary as that parcel has its own 240 feet of frontage on South Main Street and the future use of that property is unknown. Additional traffic through the Livewell campus could be detrimental.**
- C6. All site lighting, existing and proposed, should be LED and full cut-off style/dark sky compliant.
- R6. The electrical engineer has confirmed that the proposed lights meet these requirements.**
- C7. Verify that all proposed plantings are native to New England species.
- R7. All proposed plantings within the wetland and riparian buffer zone are native New England species. The majority of plants within the remainder of the site are also native species with a small portion of non-native ornamental species, none of which pose any nuisance or invasive threat.**
- C8. All dumpster areas should be fully enclosed with fencing at least as high as the top of the dumpster enclosure.
- R8. On the final plans, a screen fence will be added around the dumpsters.**
- C9. The generator should be screened. What is the testing plan?
- R9. Evergreen plantings to screen the generator will be added to the final plans. See attached sketch. Considering that we are serving healthcare residents, the generator will more than likely be tested on a weekly basis. Livewell can work with the town on the timing of the testing.**
- C10. All rooftop mechanicals should be fully screened from all public roadways.
- R10. Rooftop mechanical equipment will be screened from all public roadways.**
- C11. There should be a landscape screen with fence on the property line to the east abutting the residential lot, unless it is planned to be incorporated into the site with a lot line revision?
- R11. The residential lot is not owned by Livewell. No building expansion is proposed on this side of the project, so we do not believe a landscape screen is required. There is an already existing solid fence along the common property line.**

If you have any questions, please do not hesitate to contact me at (203) 271-1773.

Sincerely,

SLR International Corporation



Thomas J. Daly, PE
Manager of Civil and Structural Engineering

Enclosure

cc: Ms. Fadia Haddad – One Point Partners
Attorney Louis Martocchio

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