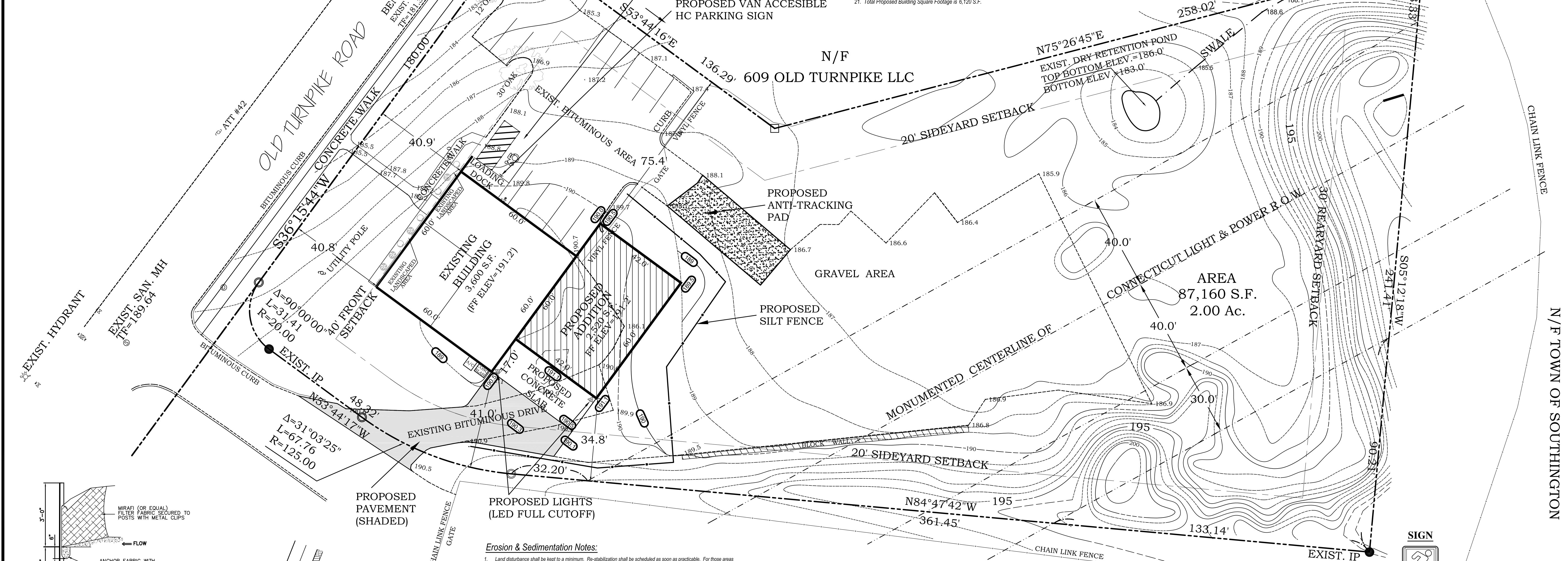


SITE LOCATION MAP
SCALE: 1"=500'



Construction Sequence:

- Pursuant to the Erosion and Sedimentation Control Plan, notify the municipalities Planning and Engineering Departments of ensuing construction activity.
- Establish erosion and sedimentation control measures, as shown in the plan prior to initiating any construction activity.
- Call Before You Dig 1 800 922 4455.
- Develop Construction Entrance.
- Strip stockpile topsoil anchor with straw mulch and silt fence. If stockpiles are to be left in place for more than 45 days, they should be seeded with annual ryegrass at a rate of 40 lbs/acre.
- Start building excavation and place foundation, slab and building.
- Trap any sediment that accumulates during construction.
- Place and grade banks, provide slope stabilization at 2:1 banks.
- Finish grade and place gravel base for paved area.
- Construct concrete walks and place bituminous concrete.
- Finish grade site, spread topsoil and seed all areas disturbed by construction. Stabilize all slopes.

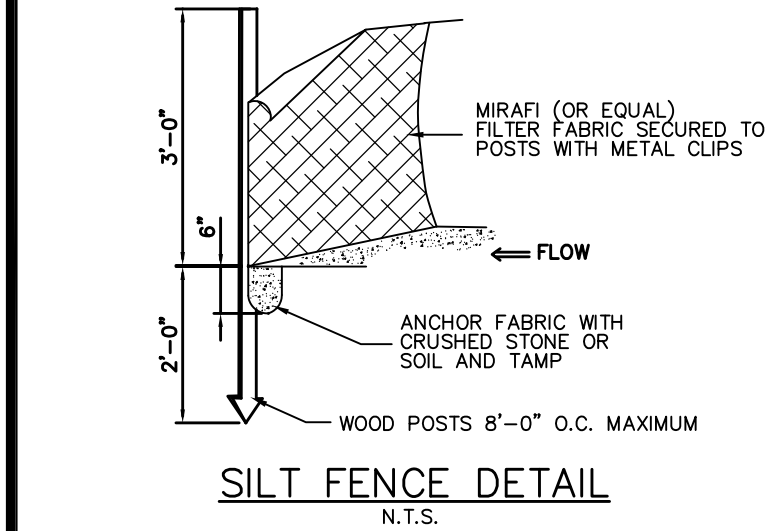
Suggested Seed Mixture	Lbs/Acre	Lbs/1,000 s.f.
Kentucky Blue Grass	20	0.45
Creeping Red Fescue	20	0.45
Perennial Ryegrass	5	0.10

- Remove sediment and dispose of offsite in an environmentally acceptable manner.
- Remove anti-tracking pad, repair any damage to curbing.
- After disturbed areas have had vegetation re-established on them, siltation barriers shall be removed.

Standard Site Plan Notes:

- Parcel Owner: ROB BAUDER Parcel Address: #611 OLD TURNPIKE ROAD
- Contour Interval: 1'
- Elevations Based on NAVD 88
- Town Topography/Augmented By Field Topo
- The Indicated Existing Utilities are Based upon Limited Information. The Locations are Approximate and Not Guaranteed. All Utilities May Not Be Shown. Prior to Any Excavation, the Contractor shall Notify "CALL BEFORE YOU DIG" @ 1 800 922 4455.
- Contractor Required to Field Verify All Dimensions, Elevation, Quantities and Details Prior To Any Construction.
- Lot Area is 87,160 s.f. OR 2.00 acres.
- Property is Located in Zone (I-1)
- All Construction Shall Conform to CONN. DOT 816A.
- Groundwater Zone is GB/GAA
- Property to be Served By Public Water and Sanitary Sewer.
- Flood Lamps to be Shielded So As Not to Allow Illumination to Emit Beyond the Property.
- Lot Coverage = 7% (Allowed = 25%)
- Present Land Use: Industrial
- Proposed Land Use: Industrial unless Otherwise Noted
- Planning and Engineering Departments to be Notified @ 860 276 6248 and 860 276 6231, Twenty Four Hours In Advance of Any Construction Activity.
- Any Regulated Activity in a Designated Inland Wetland or Inland Wetland Review Area Not A Part of This Plan Shall Require A Separate Inland Wetland Permit.
- All Work in Connection With This Plan Shall Be Completed Within Five (5) Years of the Date of Approval, or the Approval is No Longer Valid.
- No Certificate of Occupancy Shall Be Issued Until All Site Work is Completed, Or When Specifically Approved by the Planning and Zoning Commission. A Temporary C.O. May be Issued Upon the Posting of A Bond.
- The Applicant Shall be Responsible for Obtaining The Necessary State and Federal Environmental Permits.
- Total Proposed Building Square Footage is 6,120 S.F.

Zoning Information - Zone I - 1		
ITEM	REQUIRED	PROPOSED
MINIMUM LOT AREA	40,000 SF	87,160 SF EXIST.
MINIMUM FRONTAGE	200'	200'
MAX. BLDG. COVERAGE	35%	7%
MINIMUM SETBACKS FROM	40'	40.8' EXIST.
MINIMUM SETBACKS REAR	20'	34.8'/75.4' ADDITION
MAX. BUILDING HEIGHT	3 STORIES/33'	1 STORY
REQUIRED PARKING		
OFFICE 3,000 SF	484 SF x 3/1000 = 0.1	
WHOLESALE 1,000 SF	5436 SF x 1/1000 SF = 5.4	
PARKING REGULAR	8	11
PARKING HANDICAP	1	1
TOTAL PARKING	9	12

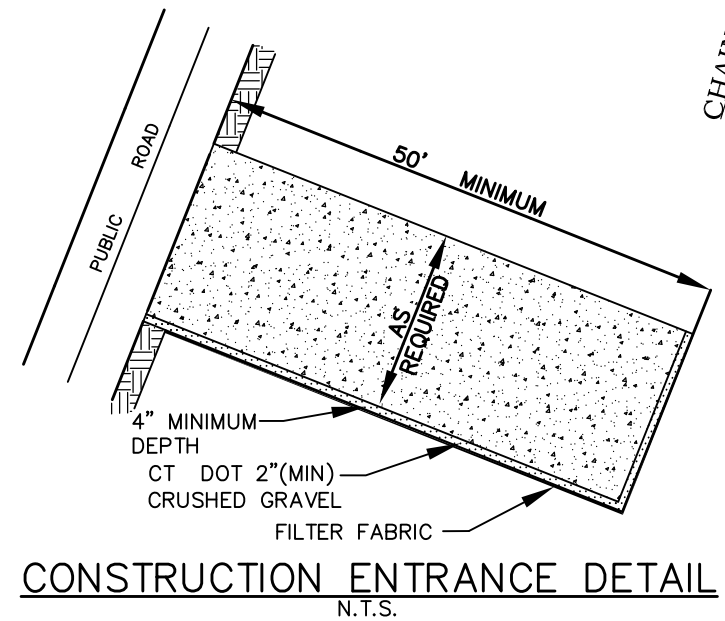


SILT FENCE DETAIL
N.T.S.

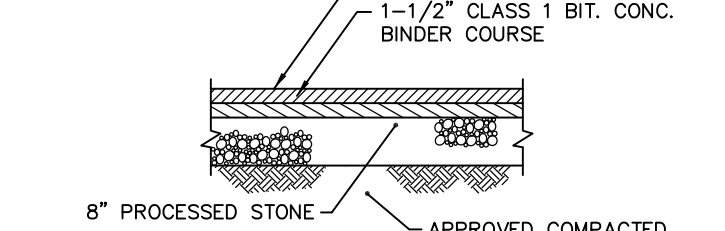
Survey Notes:

- This map has been prepared within the "Minimum Standards For Surveys and Maps in the State of Connecticut" as adopted for use by the regulations of Connecticut state agencies on September 26, 1996. (CT Sections 20-300b-20).
- Map References
 - Type of Survey: Zoning Location Survey
 - Boundary Determination Category: Resurvey
 - Horizontal Accuracy Class: A-2
 - Topographic Survey: Class T-D/Augmented By Field Topo
- Physical Evidence of Underground Utilities as Located in Field. All Underground Utilities Not Shown.

THESE DRAWINGS ARE INSTRUMENTS OF PROFESSIONAL SERVICE OF JONES ENGINEERING LLC, AND HAVE BEEN PREPARED SPECIFICALLY FOR THE OWNER OF THIS PROJECT AT THIS SITE, AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF JONES ENGINEERING LLC.



CONSTRUCTION ENTRANCE DETAIL
N.T.S.



MINIMUM PAVEMENT SECTION
N.T.S.

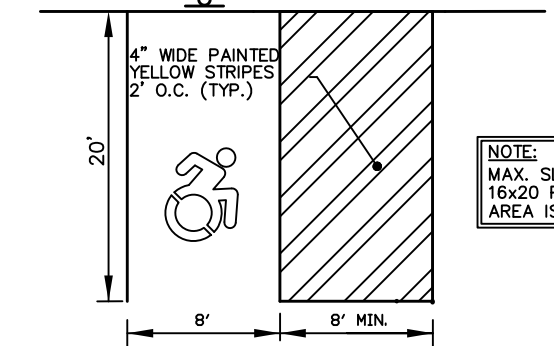
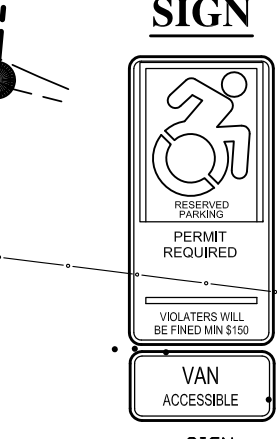
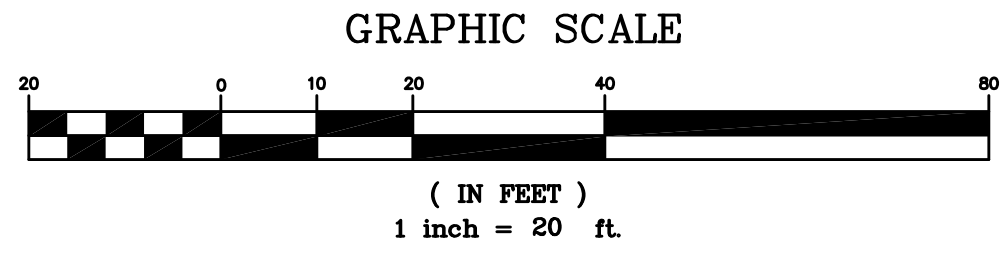
Erosion & Sedimentation Notes:

- Land disturbance shall be kept to a minimum. Re-stabilization shall be scheduled as soon as practicable. For those areas which are left exposed for more than 30 days, temporary seeding for stabilization shall be utilized. Annual Ryegrass (or an approved equal) may be utilized.
- Slopes shall be restricted to 2' horizontal 1' vertical (maximum) or flatter through grading and/or retaining walls.
- Disturbed areas, except paved areas, shall be loamed (4" min. depth) and seeded or mulched.
- All erosion and sedimentation control measures shall be constructed in accordance with the standards and specification of the erosion and sedimentation control handbook as amended to date.
- The application and specific details of the erosion and sedimentation control shall follow the CT council on soil and water conservation manual entitled "2002 Connecticut Guidelines for Soil and Erosion Control", as amended to date.
- All control measures shall be maintained in effective condition throughout the construction period.
- Additional control measures shall be installed during the construction period if deemed necessary by the Town Planner and/or the Town Engineer.
- Sedimentation barriers to be "Fibretek" 150 Grade, Staked Haybales, Silt Sox, or Approved Equal.
- Sedimentation barrier to be installed as shown on this plan prior to any construction. Individual Plot Plans for each lot shall contain detailed delineation of siltation barriers, including any additional erosion controls as deemed necessary.
- Contractor is responsible for connecting any unforeseen field conditions.
- All construction shall conform to the standards of the municipality.
- Rob Bauder or its duly authorized agent is responsible for notifying the Town Planning and Engineering Departments at least Twenty Four (24) hours in advance of the start of any construction activity.
- Rob Bauder or its duly authorized agent is assigned the responsibility for implementing this erosion and sedimentation control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan, notifying the Town Planning and Engineering Offices of any transfer of this responsibility, and for conveying a copy of the erosion and sediment control plan if the title of the land is transferred.
- Sediment control: Temporary porous barriers, using Hay Bales, Silt Fence or Silt Sox, held in place with wooden stakes shall be used at all areas where storm water containing suspended sediment could drain off site.
- Silt Fence, Hay Bales and/or Silt Sox to be installed prior to commencement of construction operations. Any Damaged Barriers shall be replaced and/or reset immediately following damage.
- Pursuant to the regulations, a layer of topsoil shall be spread over the excavated area, loamed and seeded, four (4) inches minimum in depth in accordance with the approved contour plan.
- If over five (5) acres are to be disturbed at one time, the site contractor shall obtain a NPDES storm water permit.
- Every reasonable precaution shall be exercised throughout the period of driveway construction to prevent, control and abate erosion, siltation, sedimentation and pollution of all waters.

N/F TOWN OF SOUTHINGTON

NOTES:

- ALL PARKING SPACES TO BE RE-STRIPED
- POST DEVELOPMENT STORM WATER PLAN:
Retention pond to be inspected annually and when required sedimentation build up to be removed and disposed of in an environmentally safe manner.



VAN ACCESSIBLE HANDICAPPED PARKING SPACE DETAIL

FILE NUMBER	SHEET NUMBER
220161	1 of 1

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HEREON.

NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HEREON.

ENGINEER'S SEAL

REVISIONS:

DATE	DATE	DATE	DATE	DATE	DATE

JONES ENGINEERING LLC
CIVIL ENGINEERING & LAND SURVEYING
92 NORTH SUMMIT ST., SUITE 2A PHONE: (860) 621-0700
P.O. BOX 249 FAX: (860) 621-6066
SOUTHINGTON, CT 06489

SCALE: 1"=40'

DATE: 12/17/2020

DRAWN BY: RBB

CHECKED BY: J.E.J.

PREPARED FOR: PETROLEUM SERVICES, INC. (ROB BAUDER-OWNER) #611 OLD TURNPIKE ROAD SOUTHINGTON, CONNECTICUT

JONES ENGINEERING LLC