

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.
WEST QUEEN STREET, P.O. BOX 111
SOUTHINGTON, CT. 06489-0111
(860) 628-5593
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
(860) 276-6275
(860) 276-6277
3.

EVERSOURCE ELECTRIC
(203) 352-5412
4.

EVERSOURCE GAS
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE
(860) 725-1010
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT
310 NORTH MAIN STREET
SOUTHINGTON, CT 06489
(860) 621-3202
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.
DELLABITTA DRIVE
SOUTHINGTON, CT. 06489
(860) 276-9430
(860) 276-9101
8.

TOWN ENGINEER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6231
FAX: (860) 628-8669
9.

TOWN PLANNER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6248
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6242
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6233
FAX: (860) 628-8669
12.

POLICE DEPARTMENT
69 LAZY LANE
SOUTHINGTON, CT 06489
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
2.

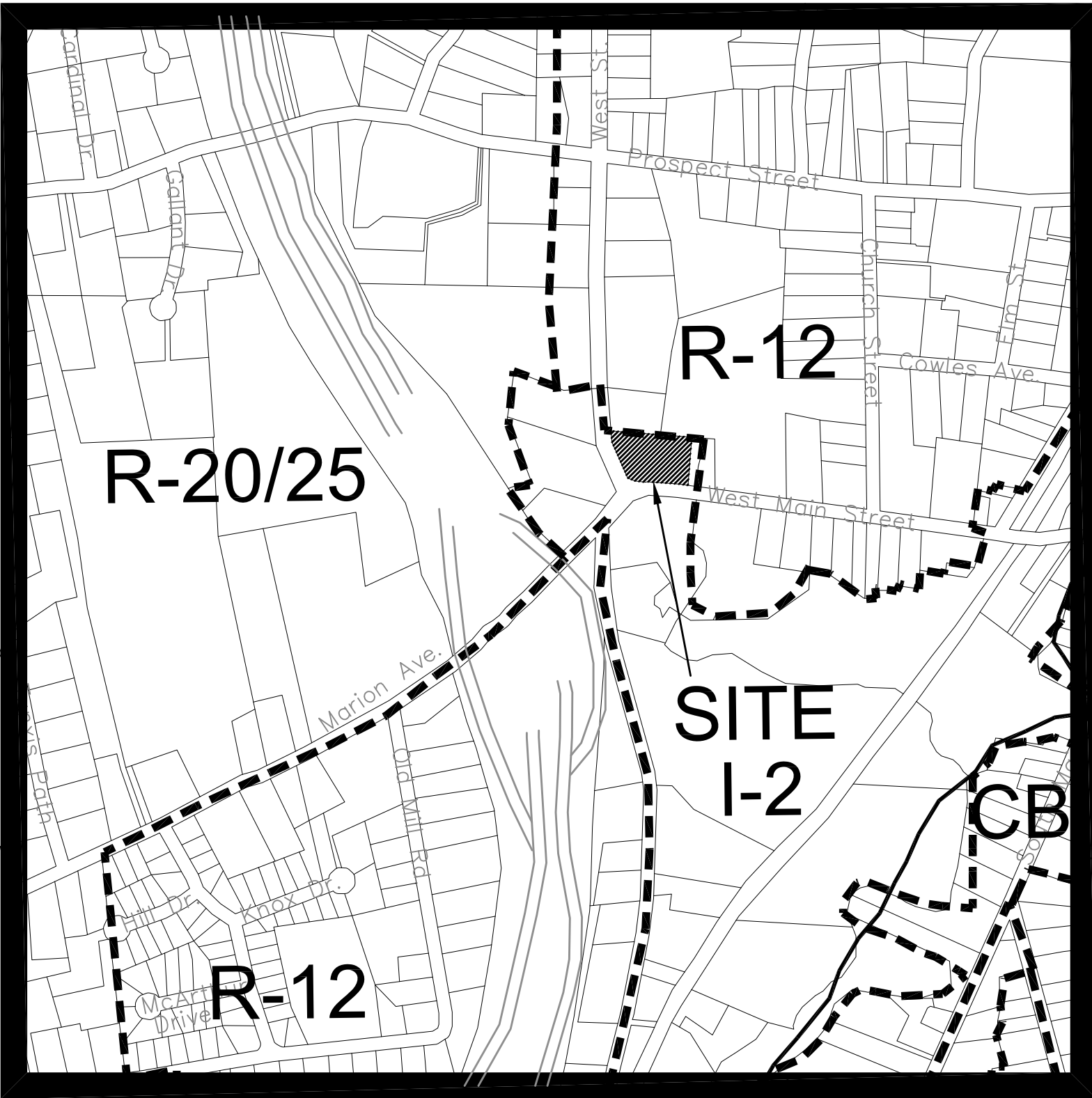
STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

1.

CALL BEFORE YOU DIG
(800) 922-4455

SITE PLANS PREPARED FOR
GLNK, LLC



KEYMAP

SCALE: 1"=500±'


REVISIONS TO THESE PLANS BY ANYONE
OTHER THAN KJA SHALL MAKE THESE
PLANS NULL AND VOID. KJA SHALL TAKE
NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION-1: 5/12/22 - TOWN COMMENTS	
PROJECT: 219072 - MEHTA	
DB: JRG/MPT	SR: AJJ
DR: AJJ	

SEAL:

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,
jones &
associates, inc.



CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILLDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

COVER
SHEET

for

GLNK, LLC
(JAY MEHTA)

17 WEST STREET
PLANTSVILLE, CT

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
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FAX (860) 621-9609
EMAIL: info@kratzertjones.com
www.kratzertjones.com



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CIVIL ENGINEERS • LAND SURVEYORS • SITE PLANNERS
BUILDING ENGINEERS

LIST OF DRAWINGS

C-1	COVER SHEET	AS NOTED
E-1	EXISTING CONDITIONS MAP	20' SCALE
S-1	SITE LAYOUT & LANDSCAPING PLAN	20' SCALE
S-2	SITE GRADING, UTILITY & EROSION CONTROL PLAN	20' SCALE
D-1	STANDARD SITE DETAILS	N.T.S.
D-2	EROSION & SEDIMENTATION CONTROL DETAILS	N.T.S.

SCALE: 1"= AS NOTED

DATE: OCTOBER 28, 2021

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

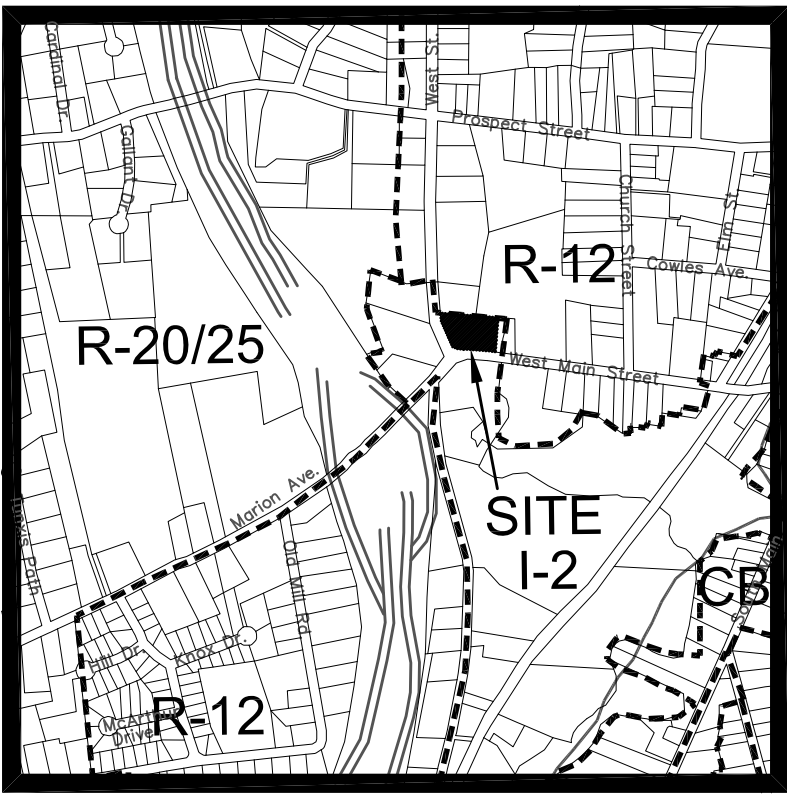
KJA FILE NO. :

219-072

DRAWING NO. :

C-1

W:\219072-MEHTA\219072-Cover.dwg
LAYOUT: C-1 DATE: 10/28/2021 4:14pm



KEYMAP: SCALE: 1"=1000'

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2:
REVISION-1:

PROJECT: 219072 - MEHTA
DB: JRG/MPJ SR: AJQ DR: AJQ

SEAL:
SURVEY NOTES:
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION MAP.
BOUNDARY DETERMINATION IS BASED UPON: A DEPENDENT RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2/T-2
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sakonchick
CT P.E. & L.S. #11302

kratertz, **KJA**
jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

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MILDALE, CT 06467-0337

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EMAIL: INFO@KRATERTJONES.COM

EXISTING
CONDITIONS
MAP

for

GLNK, LLC
(JAY MEHTA)

17 WEST STREET
PLANTSVILLE, CT

SCALE: 1"=20'

DATE: OCTOBER 28, 2021

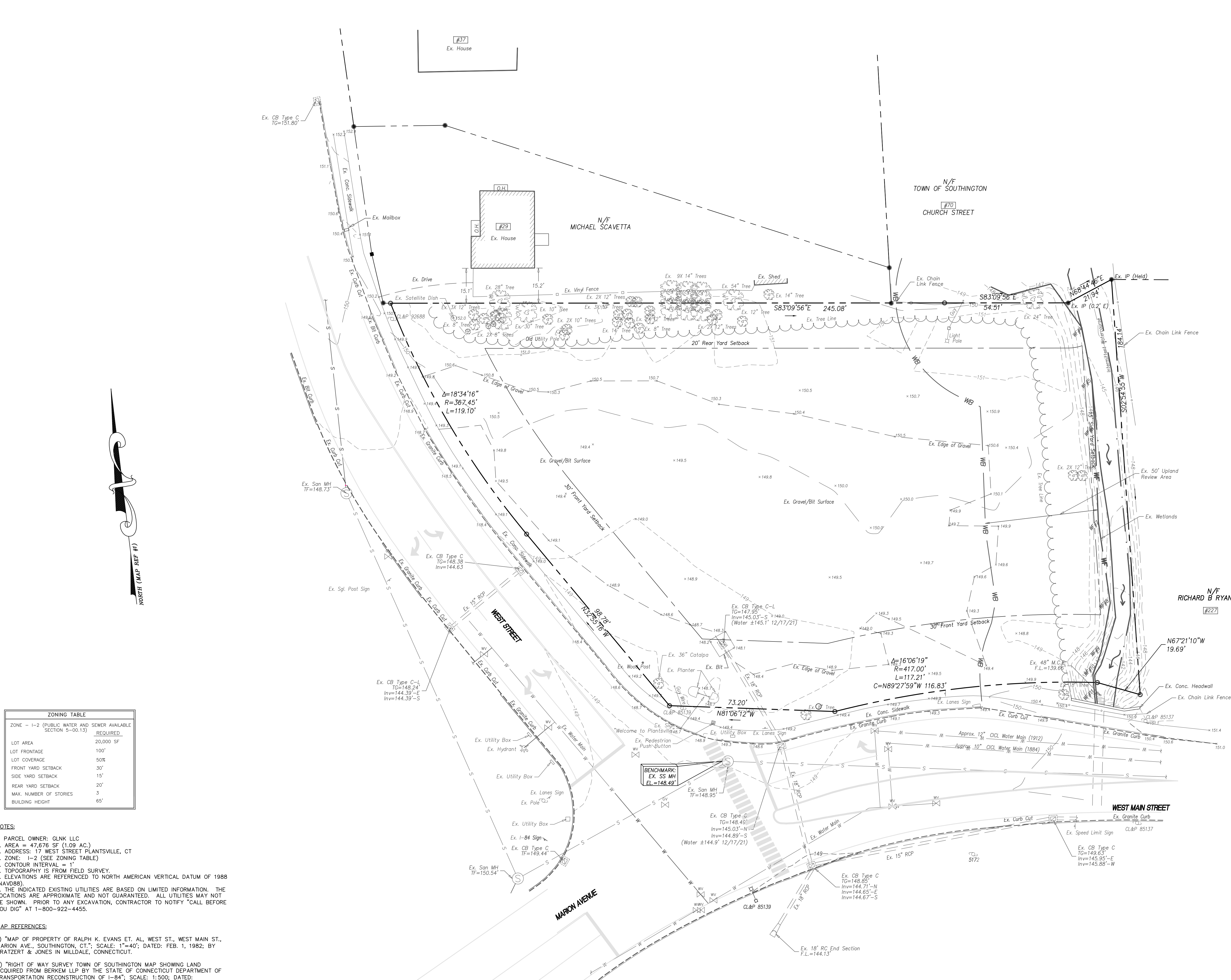
HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO. :

DRAWING NO. :

219-072

E-1



ZONING TABLE	
ZONE - I-2 (PUBLIC WATER AND SEWER AVAILABLE SECTION 5-50.13)	REQUIRED
LOT AREA	20,000 SF
LOT FRONTAGE	100'
LOT COVERAGE	50%
FRONT YARD SETBACK	30'
SIDE YARD SETBACK	15'
REAR YARD SETBACK	20'
MAX. NUMBER OF STORIES	3
BUILDING HEIGHT	65'

NOTES:

1. PARCEL OWNER: GLNK LLC
2. AREA = 47,676 SF (1.09 AC.)
3. ADDRESS: 17 WEST STREET PLANTSVILLE, CT
4. ZONE: I-2 (SEE ZONING TABLE)
5. CONTOUR INTERVAL = 1'
6. TOPOGRAPHY IS FROM FIELD SURVEY.
7. ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD88).
8. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

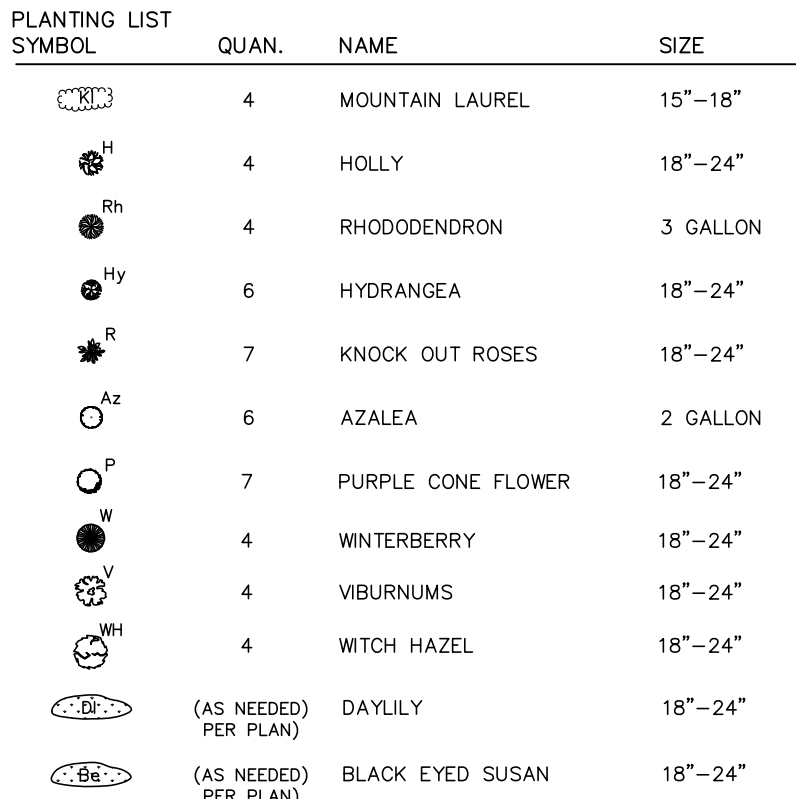
MAP REFERENCES:

- 1) "MAP OF PROPERTY OF RALPH K. EVANS ET. AL, WEST ST., WEST MAIN ST., MARION AVE., SOUTHTON, CT.", SCALE: 1"=40'; DATED: FEB. 1, 1982; BY KRATZERT & JONES IN MILLDALE, CONNECTICUT.
- 2) "RIGHT OF WAY SURVEY TOWN OF SOUTHTON MAP SHOWING LAND ACQUIRED FROM BERKEM LLP BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF I-84", SCALE: 1"=500'; DATED: SEPTEMBER 2000; BY JAMES F. BYRNES, JR. - TRANSPORTATION CHIEF ENGINEER, BUREAU OF ENGINEERING AND HIGHWAY OPERATIONS.
- 3) UNNAMED SITE PLAN; SCALE: 1"=20'; BY ROBERT GREEN ASSOCIATES L.L.C. SURVEYORS AND ENGINEERS
- 4) "AS-BUILT IMPROVEMENT LOCATION MAP FOR LOVELY DEVELOPMENT, #29 WEST STREET, PLANTSVILLE, CT", SCALE: 1"=20'; DATED: 10/8/04; BY KRATZERT, JONES & ASSOCIATES, INC. IN MILLDALE, CT.

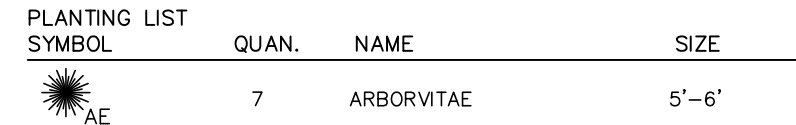
LEGEND

- PROPERTY LINE
- IRON PIN TO BE SET
- EXISTING IRON PIN
- MONUMENT TO BE SET
- EXISTING MONUMENT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT
- EXISTING HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EX. EDGE OF ROAD
- EX. EDGE OF ROAD (CURBED)
- EX. EDGE OF DRIVEWAY
- EX. SANITARY SEWER LINE
- EX. WATER LINE
- EX. CONTOUR

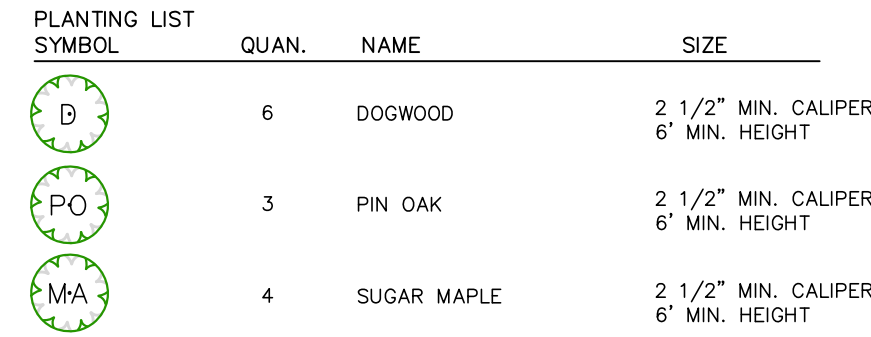
N.T.S.



N.T.S.



N.T.S



STREET TREES
STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

THE DEVELOPER SHALL LEAVE NOT LESS THAN TWO NATURALLY GROWING TREES HAVING 3" INCH CALIPER IN THE FRONT YARD OF EACH LOT OR SHALL PLANT ONE TREE FOR EVERY 50 SQ FEET OF LOT FRONTAGE OR ONE TREE FOR EVERY 100 SQ FEET OF LOT FRONTAGE, BUT NO LESS THAN TWO TREES FROM THE PLUGGED STRIPED TREE JUST WITH 3" INCH CALIPER IN THE FRONT YARD OF EACH LOT. THESE SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE STREET LINE TO A MAXIMUM OF 30 FEET FROM THE STREET LINE. STRAIGHT ROWS AND THE USE OF ONLY ONE SPECIES ARE TO BE AVOIDED, THE INTENT BEING TO CREATE A NATURAL MIXTURE OF APPROPRIATE SPECIES.1

3. ALL PLANTINGS SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT, NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
4. ALL PLANTINGS SET BACK FROM CURBS, WALKS, DRIVEWAYS AND AROUND EACH SHRUB, SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND SHALL BE MAINTAINED AT THAT LEVEL. ALL PLANTINGS SHALL BE PLANTED IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING, SHAPE AND PRUNE OUT ALL DEAD TWIGS.
5. INLAND SHRUBS AND TREES SHALL BE SET WITH STONE MULCH TO DEPTH OF 3" STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
6. BARE AND DISTURBED AREAS SHALL BE SEDED, IF NOT NOTED FOR TURF. TURF TO BE SEDED AND APPLIED IN APPROVED MANNER.
7. ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.

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N.T.S

ZONING TABLE		
ZONE - 1-2 (PUBLIC WATER AND SEWER AVAILABLE SECTION 5--00.13)		
	<u>REQUIRED</u>	<u>PROVIDED</u>
LOT AREA	20,000 SF	47,676 S.F.
LOT FRONTAGE	100'	427.98'
LOT COVERAGE	50%	15.3%
FRONT YARD SETBACK	30'	50.0'
SIDE YARD SETBACK	15'	47.6'
REAR YARD SETBACK	20'	57.0'
MAX. NUMBER OF STORIES	3	3
BUILDING HEIGHT	65'	41'±

PARKING TABLE	
REQUIRED PARKING	
1 SPACE/ RENTAL UNIT	
PLUS 1 SPACE/ EVERY 3 EMPLOYEES	
PLUS 1 SPACE/ EVERY 2 SEATS DEVOTED TO CUSTOMER SERVICE	
FOR ANY INCLUDED RESTAURANT OR BANQUET HALL	
RENTAL UNITS = 54 ROOMS = 54 SPACES	
EMPLOYEES = 3; 3/3 = 1 SPACE	
NO RESTAURANT IS PROPOSED	
REQUIRED PARKING = 55 SPACES	
PARKING PROVIDED:: 56 SPACES INCLUDING 3 H.C.	
REQUIRED H.C.: 3 SPACE; PROVIDED H.C.= 3 SPACE	

Disclaimer:
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REVISION-7:		
REVISION-6:		
REVISION-5:		
REVISION-4:		
REVISION-3:		
REVISION-2: 5/12/22 - TOWN COMMENTS		
REVISION-1: 2/2/22		
PROJECT: 219072 - MEHTA		
DB: JRG/MPT	SR: AJQ	DR: AJQ
SEAL:		

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,  KJA
jones &
associates, inc.

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MILLDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

SITE LAYOUT & LANDSCAPING PLAN

for

GLNK, LLC
(JAY MEHTA)

17 WEST STREET
PLANTSVILLE, CT

SCALE: 1" = 20'

DATE: OCTOBER 28, 2021

HALF	ONE INCH	TWO INCHES
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INCHES ON ORIGINAL

KJA FILE NO. :

DRAWING NO.

219-072

S-1

LEGEND

—	PROPERTY LINE	—	EX. STORM DRAINAGE
○	IP TO BE SET	—	PROP. STORM DRAINAGE
●	EXISTING IRON PIN	EX. COVERS	
—	PROPOSED MONUMENT	—	PROP. CONTOURS
—	EXISTING MONUMENT		SILT FENCE
—	EXIST. EDGE OF ROAD	—	EX. CATCH BASIN
—	PROP. EDGE OF ROAD		PROP. CATCH BASIN
—	EXISTING EDGE OF CURB	—	STORM DRAINAGE MANHOLE
—	PROPOSED EDGE OF CURB		SANITARY SEWER MANHOLE
—	PROPOSED DRIVEWAY	—	UTILITY POLE
—	GAS SERVICE		WATER GATE
—	SEWER SERVICE		HYDRANT
—	WATER SERVICE	—	LIGHT POLE
—	ELECTRIC SERVICE		DUMPESTER
—	EXISTING GAS VALVE		

STANDARD SITE PLAN NOTES:

1. PARCEL OWNER: GLNK LLC
ADDRESS: 17 WEST STREET PLANTSVILLE, CT
2. CONTOUR INTERVAL = 1'
3. ELEVATIONS BASED ON NAVD88.
4. TOPOGRAPHY IS FROM FIELD SURVEY.
5. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
6. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
7. LOT AREA = SEE MAP
8. PROPERTY IS LOCATED IN ZONE I-2 (SEE ZONING TABLE).
9. ALL CONSTRUCTION SHALL CONFORM TO CONN. DOT 816d.
10. SEE PARKING TABLE FOR PARKING REQUIREMENTS (SHEET S-1)
11. LOT COVERAGE = 15.3% (ALLOWED = 50%)
12. PRESENT LAND USE: VACANT
PROPOSED LAND USE: HOTEL

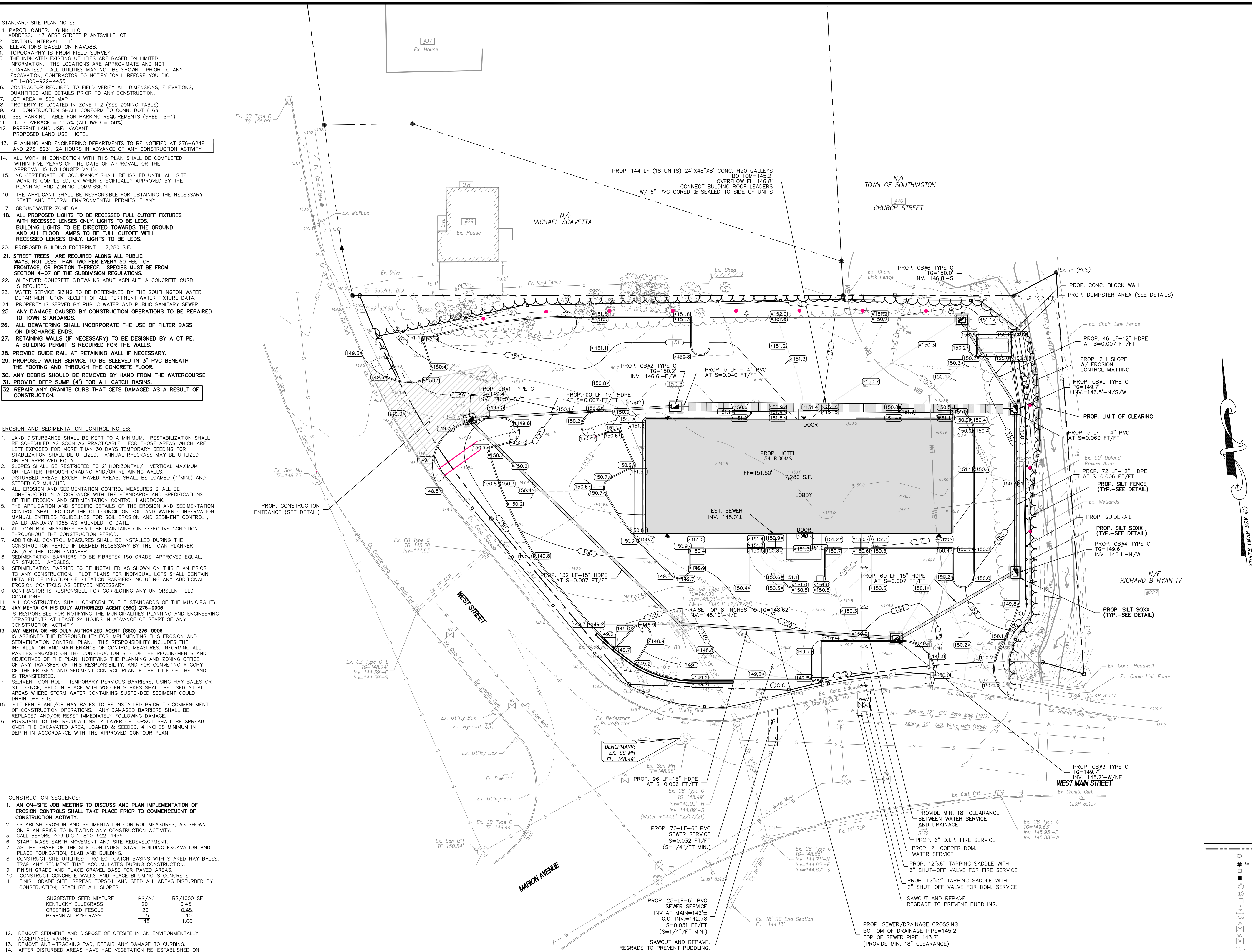
13. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT 276-6248 AND 276-6231, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
14. ALL WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
15. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION.
16. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS IF ANY.
17. GROUNDWATER ZONE GA
18. ALL PROPOSED LIGHTS TO BE RECESSED FULL CUTOFF FIXTURES WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
BUILDING LIGHTS TO BE DIRECTED TOWARDS THE GROUND AND ALL FLOOD LAMPS TO BE FULL CUTOFF WITH RECESSED LENSES ONLY. LIGHTS TO BE LEDS.
20. PROPOSED BUILDING FOOTPRINT = 7,280 S.F.
21. STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.
22. WHENEVER CONCRETE SIDEWALKS ABOUT ASPHALT, A CONCRETE CURB IS REQUIRED.
23. WATER SERVICE SIZING TO BE DETERMINED BY THE SOUTHTOWNING WATER DEPARTMENT UPON RECEIPT OF ALL PERTINENT WATER FIXTURE DATA.
24. PROPERTY IS SERVED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.
25. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS TO BE REPAIRED TO TOWN STANDARDS.
26. ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS.
27. RETAINING WALLS (IF NECESSARY) TO BE DESIGNED BY A CT PE. A BUILDING PERMIT IS REQUIRED FOR THE WALLS.
28. PROVIDE GUIDE RAIL AT RETAINING WALL IF NECESSARY.
29. PROPOSED WATER SERVICE TO BE SLEAVED IN 3" PVC BENEATH THE FOOTING AND THROUGH THE CONCRETE FLOOR.
30. ANY DEBRIS SHOULD BE REMOVED BY HAND FROM THE WATERCOURSE
31. PROVIDE DEEP SUMP (4') FOR ALL CATCH BASINS.
32. REPAIR ANY GRANITE CURB THAT GETS DAMAGED AS A RESULT OF CONSTRUCTION.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
2. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4"MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENTATION CONTROL HANDBOOK.
5. THE APPLICATION AND SPECIFIC DETAILS OF THE EROSION AND SEDIMENTATION CONTROL SHALL FOLLOW THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED JANUARY 1985 AS AMENDED TO DATE.
6. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN PLANNER AND/OR THE TOWN ENGINEER.
8. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
9. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION. PLOT PLANS FOR INDIVIDUAL LOTS SHALL CONTAIN DETAILED DELINEATION OF SILTATION BARRIERS INCLUDING ANY ADDITIONAL EROSION CONTROLS AS DEEMED NECESSARY.
10. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORSEEN FIELD CONDITIONS.
11. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
12. JAY MEHTA OR HIS DULY AUTHORIZED AGENT (860) 276-9906 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
13. JAY MEHTA OR HIS DULY AUTHORIZED AGENT (860) 276-9906 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
14. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
15. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE.
16. PURSUANT TO THE REGULATIONS, A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.

CONSTRUCTION SEQUENCE:

1. AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROLS SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
 2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
 3. CALL BEFORE YOU DIG 1-800-922-4455.
 4. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
 5. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
 6. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
 7. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
 8. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
 9. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
- | SUGGESTED SEED MIXTURE | LBS/AC | LBS/1000 SF |
|------------------------|--------|-------------|
| KENTUCKY BLUEGRASS | 20 | 0.45 |
| CREeping RED FESCUE | 20 | 0.45 |
| PERENNIAL RYEGRASS | 45 | 1.00 |
12. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
 13. REMOVE ANTI-TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
 14. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE-ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.



Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-7:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	5/12/22 - TOWN COMMENTS
REVISION-1:	2/2/22
PROJECT:	219072 - MEHTA
DB:	JRG/MPT
SR:	AJQ
DR:	AJQ

"I hereby certify that this plan is in compliance with the Town of Southtoning Soil Erosion and Sedimentation control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."

Signature _____
(Name) _____ Certification No. _____
"The Planning and Zoning Commission certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Southtoning Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation control dated 2002, as amended."
Signature _____
Date of Approval _____

kratzer, KJA jones & associates, inc.
CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS
P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILLDALE, CT 06467-0337
PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

SITE GRADING, UTILITY & EROSION CONTROL PLAN

for
**GLNK, LLC
(JAY MEHTA)**

**17 WEST STREET
PLANTSVILLE, CT**

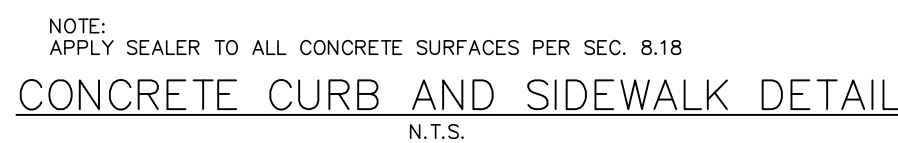
SCALE: 1" = 20'
DATE: OCTOBER 28, 2021

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.: 219-072
DRAWING NO.: S-2

LEGEND

- PROPERTY LINE
- IRON PIN TO BE SET
- EXISTING IRON PIN
- MONUMENT TO BE SET
- EXISTING MONUMENT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT
- EXISTING HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EX. EDGE OF ROAD (CURBED)
- EX. EDGE OF DRIVEWAY
- EX. SANITARY SEWER LINE
- EX. WATER LINE
- EX. CONTOUR



*ALL CATCH BASINS SHALL BE TO D.O.T. STANDARD PER FORM 816 (AS AMENDED). NO UNNECESSARY KNOCKOUTS WILL BE ALLOWED

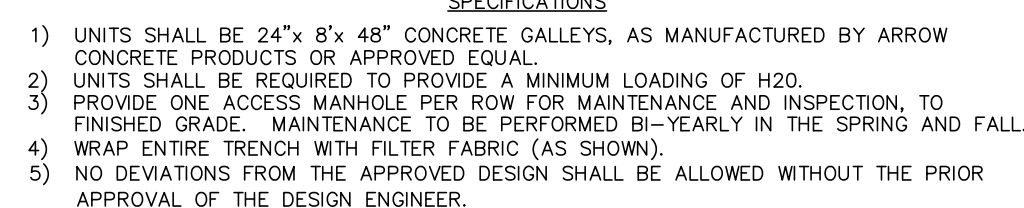


(SEE ASTM D-2321 FOR COMPLETE REFERENCE)



NOTES:

- 1.) ALL EDGES MUST BE TACK COATED WITH THE SURFACE JOINTS SEALED.
- 2.) CRUSHED STONE SHALL BE ENTIRELY WRAPPED IN FABRIC IN TRAVELED WAYS OR AS DIRECTED BY THE W.P.C.A.
- 3.) SEWER TRENCH WIDTH = I.D. PIPE + 2'



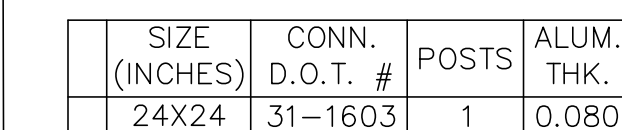
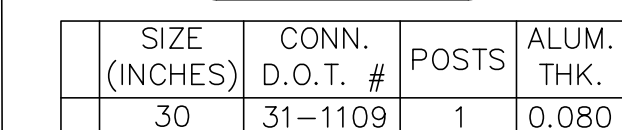
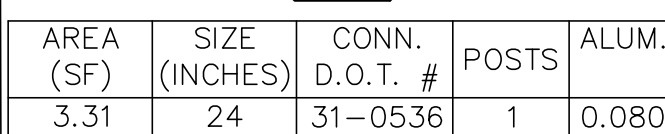
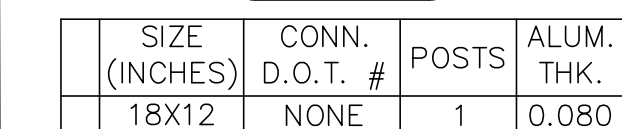
24" PRECAST CONCRETE GALLEY DETAIL
N.T.S.



NOTE: OR APPROVED EQUAL



PROFESSOR OF FINANCIAL ECONOMICS



REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION:		
REVISION:		
REVISION:		
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REVISION-2: 5/12/22 – TOWN COMMENTS		
REVISION-1: 2/2/22		
PROJECT: 219072 – MEHTA		
DB:	SR:	DR:
DB: JRG/MPT	SR: AJQ	DR: AJQ

NOT ALL DETAILS ON THIS
PLAN MAY BE APPLICABLE

James N. Sakonchick
CT P.E. & L.S. #11302

kratzert,
jones &
associates, inc.  KJA

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STANDARD SITE DETAILS

for

GLNK, LLC
(JAY MEHTA)

17 WEST STREET
PLANTSVILLE, CT

SCALE: AS NOTED

DATE: OCTOBER 28, 2021

HALF	ONE INCH	TWO INCH
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INCHES ON ORIGINAL

KJA FILE NO. :

DRAWING NO. :

219-072

D-1

M:\19\219072-MEHTA\dwg\DETAILS.dwg
LAYOUT: 0-1 DATE: May 15, 2022 - 4:19pm

