

**PROPOSED R-20/25 SUBDIVISION**  
**PENNY LANE SUBDIVISION**  
**347, 349 & 389 MARION AVENUE**

**PROPERTY OWNERS:** 347 & 349 MARION AVENUE  
**JERRY ALDIERI**  
**5 RUY LANE**  
**SOUTHINGTON, CONNECTICUT 06489**

389 MARION AVENUE  
**MARION AVENUE ASSOCIATES, LLC**  
**389 MARION AVENUE**  
**PLANTSVILLE, CONNECTICUT 06479**

**DEVELOPER:** **LEPAGE HOMES, INC.**  
**172 FLANDERS STREET**  
**SOUTHINGTON, CONNECTICUT 06489**  
**CONTACT DURING CONSTRUCTION: BILL LEPAGE, (860) 621-3262**

**LAND SURVEYING -** **THE BONGIOVANNI GROUP, INC.**  
**LAND PLANNING:** **170 PANE ROAD**  
**NEWINGTON, CONNECTICUT 06111**  
**(860) 666-0134**

**CIVIL ENGINEERING:** **HALLISEY, PEARSON & CASSIDY**  
**630 MAIN STREET, UNIT #1A**  
**CROMWELL, CONNECTICUT 06416**  
**(860) 529-6812**

**SOIL SCIENCE:** **SOIL RESOURCE CONSULTANTS**  
**P.O. BOX 752**  
**MERIDEN, CONNECTICUT 06450**  
**(860) 919-4049**

**ZONING DATA**

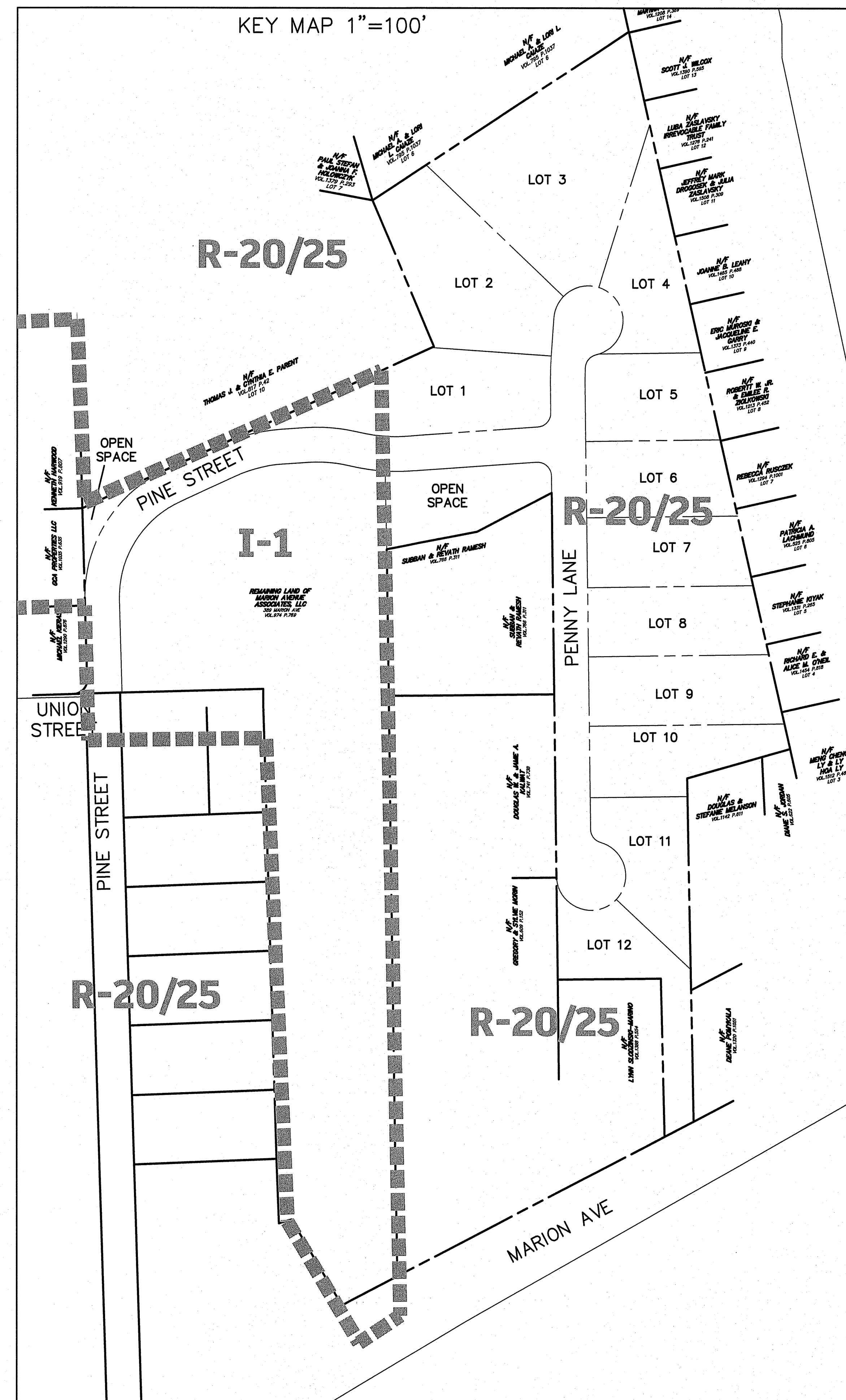
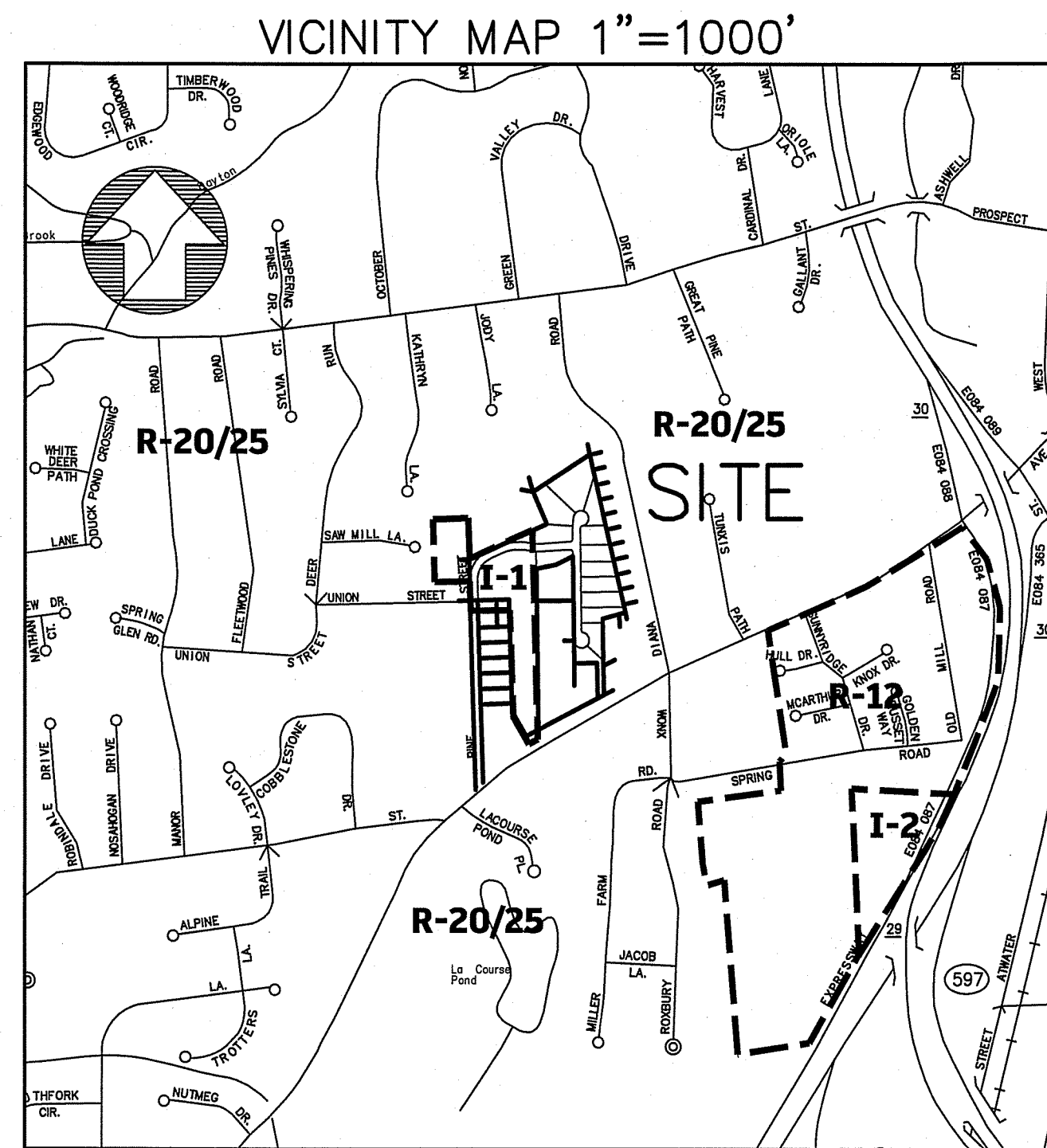
ZONE R-20/25 SUBDIVISION  
 MINIMUM LOT WIDTH - 100'  
 MINIMUM FRONT YARD - 40'  
 MINIMUM SIDE YARD - 20'  
 MINIMUM REAR YARD - 25'  
 MINIMUM LOT AREA - 22,500 S.F.  
 MAXIMUM LOT COVERAGE - 20%  
 MAXIMUM HEIGHT - 2.5 STORIES/35'

**DRAWING INDEX**

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SHEET 6-7	UTILITIES & IMPROVEMENTS PLAN
SHEET 8-9	EROSION & SEDIMENT CONTROL PLAN
SHEET 10-11	STREET PLAN & PROFILE
SHEET 12	SANITARY SEWER PLAN & PROFILE
SHEET 13	RETAINING WALL PLAN & PROFILE
SHEET 14-15	STORM WATER MANAGEMENT DETAILS
SHEET 16	SITE DETAILS
SHEET 17-18	SITE DETAILS

**GENERAL NOTES:**

- HOUSE LOCATIONS AND ELEVATIONS ARE FOR THE PURPOSE OF DEMONSTRATING THAT ALL LOTS WILL SUPPORT DEVELOPMENT FOR THEIR INTENDED PURPOSE. THE PROPOSED HOUSES AS SHOWN ARE NOT INTENDED IN ANY WAY TO LIMIT THE SIZE, STYLE, LOCATION OR ELEVATION OF THE ACTUAL HOUSES TO BE BUILT.
- TREES TO BE PLANTED AS PER SECTION 4-07 OF THE SOUTHINGTON SUBDIVISION REGULATIONS.
- ALL DISTURBED AREAS TO BE TOP SOILED AND SEEDED.
- LOT GRADING SHALL BE DONE TO PROVIDE SURFACE DRAINAGE AND PREVENT PONDING.
- SANITARY SEWERAGE AND WATER SERVICE TO BE PROVIDED BY THE TOWN OF SOUTHINGTON.
- VERTICAL DATUM = NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). HORIZONTAL DATUM = NORTH AMERICAN DATUM OF 1983 (NAD 83).
- ALL UTILITIES SHALL BE UNDERGROUND.
- CONSTRUCTION OF ANY IMPROVEMENTS SHOWN SHALL BE IN ACCORDANCE WITH CTDOT, FORM 818, AS AMENDED, "STANDARD SPECIFICATIONS FOR ROAD, BRIDGES AND INCIDENTAL CONSTRUCTION", "TOWN OF SOUTHINGTON SPECIFICATIONS FOR CONSTRUCTION OF ROADS", "TOWN OF SOUTHINGTON ZONING REGULATIONS", "TOWN OF SOUTHINGTON SUBDIVISION REGULATIONS" AND THE CONNECTICUT LANDSCAPE ASSOCIATION'S "STANDARD SPECIFICATIONS FOR PLANTING TREES, SHRUBS, VINES, ETC." ARE TO BE USED FOR CONSTRUCTION STANDARDS.
- SITE = 477,906 S.F. = 10.9712 ACRES.
- ACCESS TO THE SITE DURING CONSTRUCTION SHALL BE THROUGH THE CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS AND NO OTHER ACCESS SHALL BE ALLOWED.
- ACTUAL FIELD CONDITIONS MAY BE DIFFERENT OR CHANGED FROM THOSE CONDITIONS ASSUMED IN THE PREPARATION OF THIS PLAN AND IN SUCH CIRCUMSTANCES, THE TOWN ENGINEER MAY DIRECT THAT CERTAIN MODIFICATIONS OR AMENDMENTS BE EFFECTED AND CONSTRUCTED TO AMELIORATE SUCH CHANGED CONDITIONS.
- THE CT DEEP NATURAL DIVERSITY DATABASE MAPS HAVE BEEN REVIEWED AND THERE ARE NO SPECIES OF CONCERN.



This subdivision is approved by the Planning and Zoning Commission of the Town of Southington, Connecticut  
 Signature \_\_\_\_\_  
 Date of Approval \_\_\_\_\_  
 Pursuant to Section 8 of the Connecticut General Statutes all work in connection with this subdivision shall be completed within five (5) years from the date of this approval.

Date: 6-27-22  
 Drawn: BTM  
 Scale: AS SHOWN  
 Checked: AB

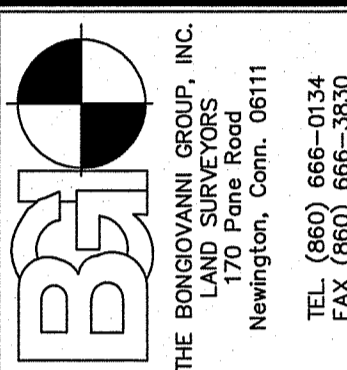
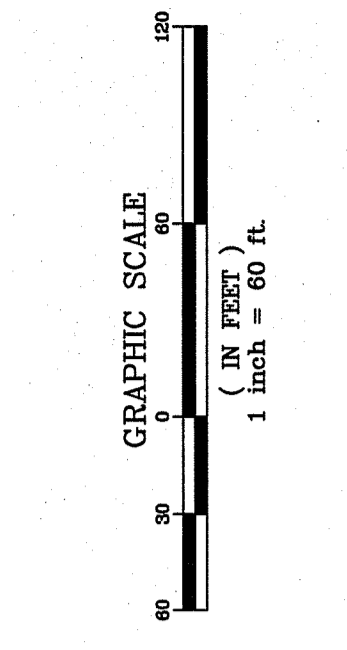
Revision	Date

Sheet  
**1** of **18**

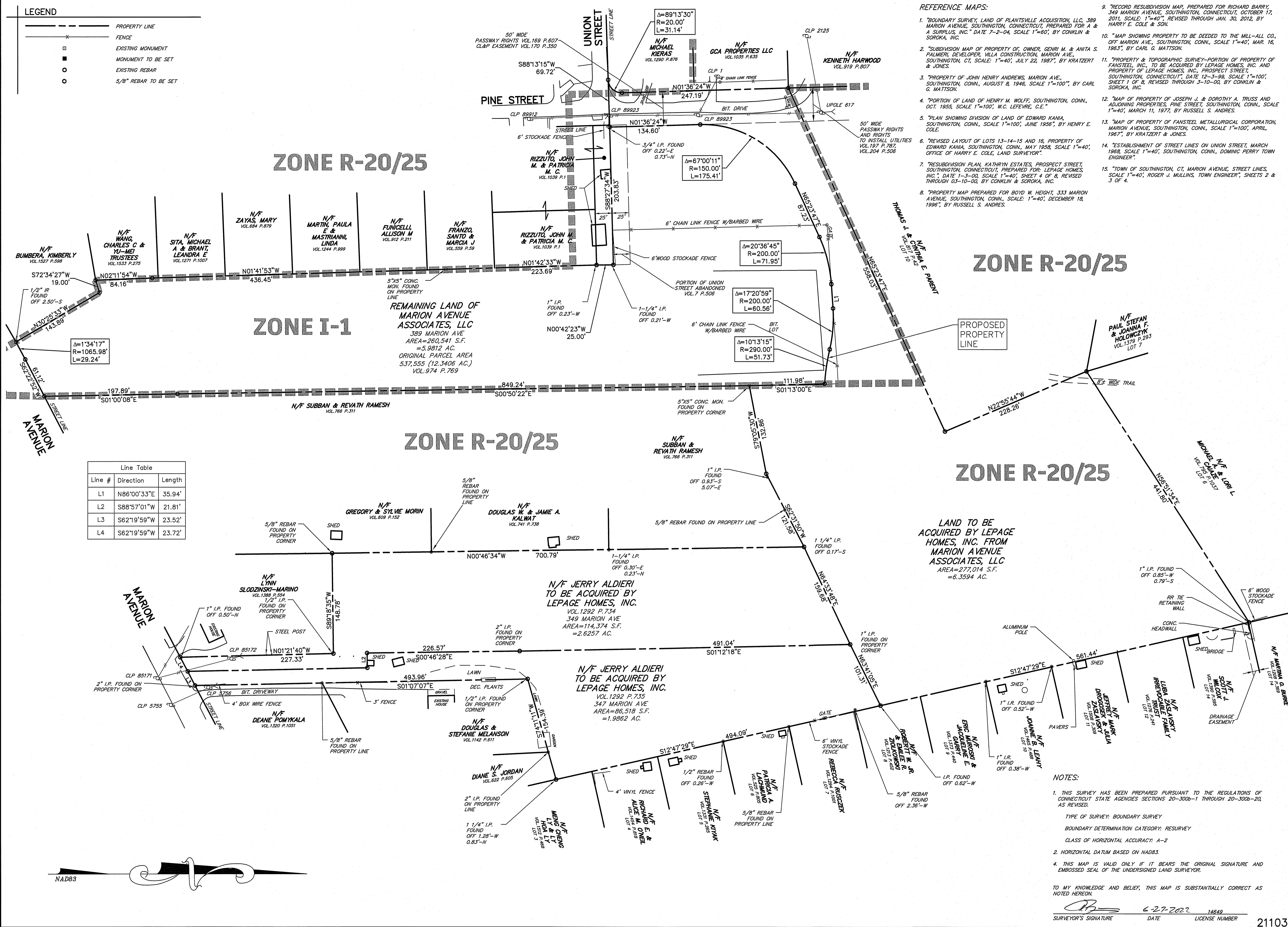
**LEGEND**

---	PROPERTY LINE
- - -	FENCE
□	EXISTING MONUMENT
■	MONUMENT TO BE SET
○	EXISTING REBAR
○	5/8" REBAR TO BE SET

- REFERENCE MAPS:**
- BOUNDARY SURVEY, LAND OF PLANTSVILLE ACQUISITION, LLC, 389 MARION AVENUE, SOUTHINGTON, CONNECTICUT, PREPARED FOR A & A SURPLUS, INC. DATE 7-2-04, SCALE 1"=60', BY CONKLIN & SOROKA, INC.
  - SUBDIVISION MAP OF PROPERTY OF, OWNER, GENRI M. & ANITA S. PALMIERI, DEVELOPER, VILLA CONSTRUCTION, MARION AVE., SOUTHINGTON, CT, SCALE: 1"=40', JULY 22, 1987, BY KRATZERT & JONES.
  - PROPERTY OF JOHN HENRY ANDREWS, MARION AVE., SOUTHINGTON, CONN., AUGUST 8, 1946, SCALE 1"=100', BY CARL G. MATTSO.
  - PORTION OF LAND OF HENRY M. WOLF, SOUTHINGTON, CONN., OCT. 1955, SCALE 1"=100', W.C. LEFEVRE, C.E."
  - PLAN SHOWING DIVISION OF LAND OF EDWARD KANIA, SOUTHINGTON, CONN., SCALE 1"=100', JUNE 1956, BY HENRY E. COLE.
  - REVISED LAYOUT OF LOTS 13-14-15 AND 16, PROPERTY OF EDWARD KANIA, SOUTHINGTON, CONN., MAY 1958, SCALE 1"=40', OFFICE OF HARRY E. COLE, LAND SURVEYOR.
  - RESUBDIVISION PLAN, KATHRYN ESTATES, PROSPECT STREET, SOUTHINGTON, CONNECTICUT, PREPARED FOR: LEPAGE HOMES, INC., DATE 1-3-00, SCALE 1"=40', SHEET 4 OF 8, REVISED THROUGH 03-10-00, BY CONKLIN & SOROKA, INC.
  - PROPERTY MAP PREPARED FOR BOYD W. HEIGHT, 333 MARION AVENUE, SOUTHINGTON, CONN., SCALE: 1"=40', DECEMBER 18, 1996, BY RUSSELL S. ANDRES.
  - RECORD RESUBDIVISION MAP, PREPARED FOR RICHARD BARRY, 349 MARION AVENUE, SOUTHINGTON, CONNECTICUT, OCTOBER 17, 2011, SCALE: 1"=40', REVISED THROUGH JAN. 30, 2012, BY HARRY E. COLE & SON.
  - MAP SHOWING PROPERTY TO BE DEEDED TO THE MILL-ALL CO., OFF MARION AVE., SOUTHINGTON, CONN., SCALE 1"=40', MAR. 16, 1963, BY CARL G. MATTSO.
  - PROPERTY & TOPOGRAPHIC SURVEY-PORTION OF PROPERTY OF FANSTEEL, INC., TO BE ACQUIRED BY LEPAGE HOMES, INC. AND PROPERTY OF LEPAGE HOMES, INC., PROSPECT STREET, SOUTHINGTON, CONNECTICUT, DATE 12-3-99, SCALE 1"=100', SHEET 1 OF 5, REVISED THROUGH 3-10-00, BY CONKLIN & SOROKA, INC.
  - MAP OF PROPERTY OF JOSEPH J. & DOROTHY A. TRUSS AND ADJOINING PROPERTIES, PINE STREET, SOUTHINGTON, CONN., SCALE 1"=40', MARCH 11, 1977, BY RUSSELL S. ANDRES.
  - MAP OF PROPERTY OF FANSTEEL METALLURGICAL CORPORATION, MARION AVENUE, SOUTHINGTON, CONN., SCALE 1"=100', APRIL, 1967, BY KRATZERT & JONES.
  - ESTABLISHMENT OF STREET LINES ON UNION STREET, MARCH 1968, SCALE 1"=40', SOUTHINGTON, CONN., DOMINIC PERRY TOWN ENGINEER.
  - TOWN OF SOUTHINGTON, CT, MARION AVENUE, STREET LINES, SCALE 1"=40', ROGER J. MULLINS, TOWN ENGINEER, SHEETS 2 & 3 OF 4.



Date	
Revision	
Drawn: DUB / BTM	
Checked: AG	
Scale: 1"=60'	
Date: 6-27-22	



**Line Table**

Line #	Direction	Length
L1	N86°00'33"E	35.94'
L2	S88°57'01"W	21.81'
L3	S62°19'59"W	23.52'
L4	S62°19'59"W	23.72'

LAND TO BE ACQUIRED BY LEPAGE HOMES, INC. FROM MARION AVENUE ASSOCIATES, LLC  
 AREA=277,014 S.F.  
 =6.3594 AC.

N/F JERRY ALDIERI TO BE ACQUIRED BY LEPAGE HOMES, INC.  
 VOL.1292 P.734  
 349 MARION AVE  
 AREA=114,374 S.F.  
 =2.6257 AC.

N/F JERRY ALDIERI TO BE ACQUIRED BY LEPAGE HOMES, INC.  
 VOL.1292 P.735  
 347 MARION AVE  
 AREA=86,518 S.F.  
 =1.9862 AC.

- NOTES:**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS REVISED.
  - HORIZONTAL DATUM BASED ON NAD83.
  - THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*[Signature]* 6-27-2022 14649  
 SURVEYOR'S SIGNATURE DATE LICENSE NUMBER

PENNY LANE SUBDIVISION  
 PREPARED FOR  
 LEPAGE HOMES, INC.  
 347, 349 & 389 MARION AVENUE  
 SOUTHINGTON, CONNECTICUT

PROPERTY SURVEY

REFERENCE MAPS:

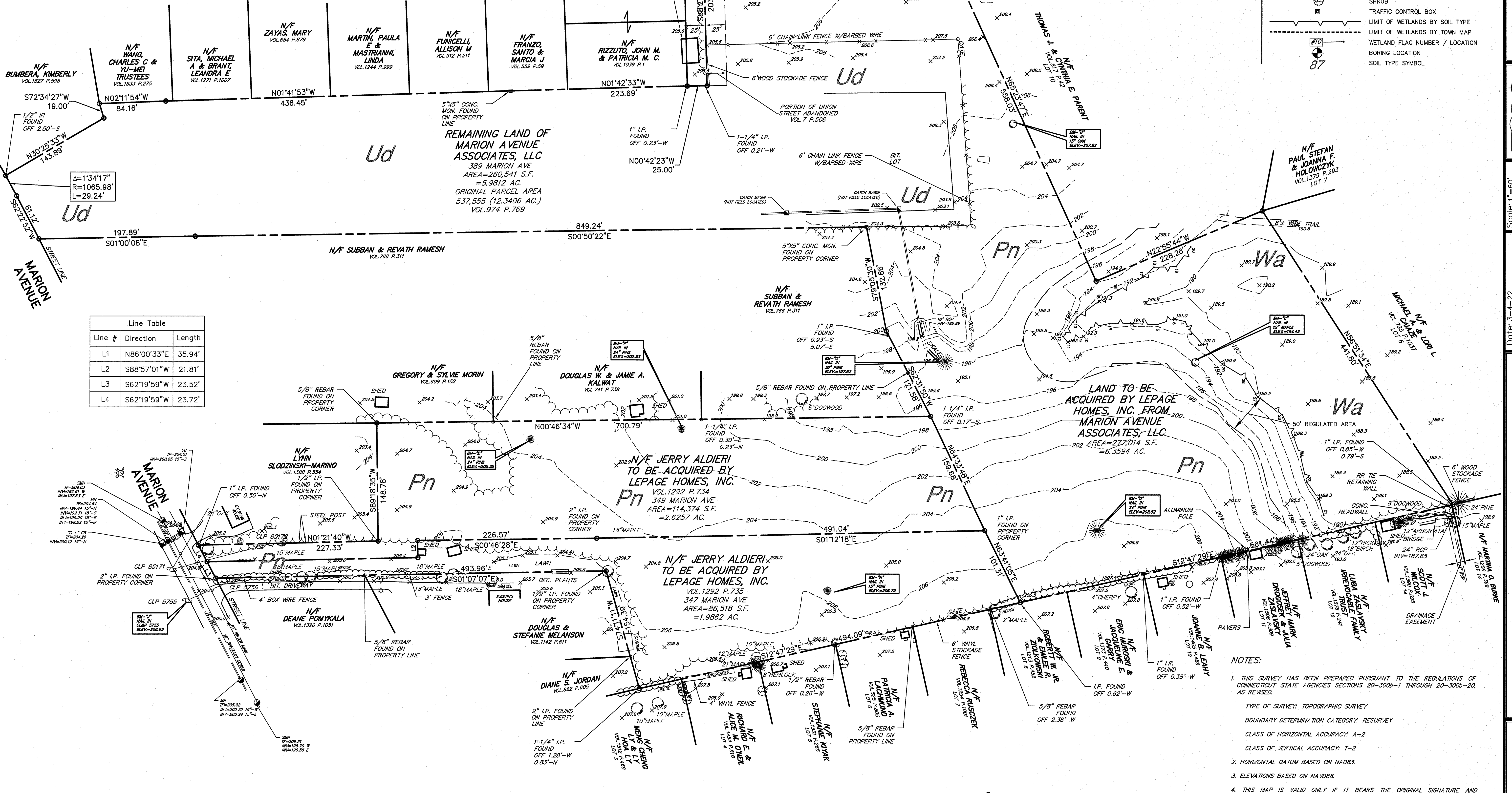
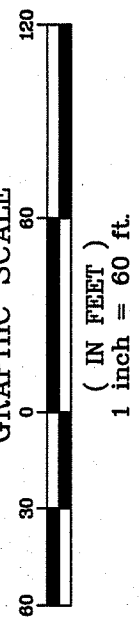
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- "TOWN OF SOUTHINGTON, CT, MARION AVENUE, STREET LINES, SCALE 1"=40', ROGER J. MULLINS, TOWN ENGINEER', SHEETS 2 & 3 OF 4.

SOIL TYPES	
SOIL NUMBER	NAME
Wa (13)	Waipole
Pn (35)	Penwood
Ud (306)	Udortherts

LEGEND - EXISTING

- PROPERTY LINE
- FENCE
- EXISTING ELEVATION CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING WATER LINE
- EXISTING MANHOLE
- EXISTING GAS MAIN
- EXISTING CATCH BASIN
- EXISTING TREE LINE
- SIGN
- UTILITY POLE
- GUY WIRE
- WATER GATE
- EXISTING HYDRANT
- TREE
- GUIDE RAIL
- OVERHEAD WIRES
- ELECTRIC METER
- SHRUB
- TRAFFIC CONTROL BOX
- LIMIT OF WETLANDS BY SOIL TYPE
- LIMIT OF WETLANDS BY TOWN MAP
- WETLAND FLAG NUMBER / LOCATION
- BORING LOCATION
- SOIL TYPE SYMBOL



Line Table		
Line #	Direction	Length
L1	N86°00'33"E	35.94'
L2	S88°57'01"W	21.81'
L3	S62°19'59"W	23.52'
L4	S62°19'59"W	23.72'

THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CAN NOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. CALL "CALL B-4-U DIG" AT 1-800-922-4455 PRIOR TO ANY EXCAVATION.

- NOTES:
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS REVISED.
  - TYPE OF SURVEY: TOPOGRAPHIC SURVEY
  - BOUNDARY DETERMINATION CATEGORY: RESURVEY
  - CLASS OF HORIZONTAL ACCURACY: A-2
  - CLASS OF VERTICAL ACCURACY: T-2
  - HORIZONTAL DATUM BASED ON NAD83
  - ELEVATIONS BASED ON NAVD88
  - THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

SURVEYOR'S SIGNATURE DATE 3-4-22 LICENSE NUMBER 14649 21103

PENNY LANE SUBDIVISION  
 PREPARED FOR  
**LEPAGE HOMES, INC.**  
 347, 349 & 389 MARION AVENUE  
 SOUTHINGTON, CONNECTICUT

EXISTING  
 CONDITIONS

Date: 3-4-22  
 Drawn: Ddb / BTM  
 Revision  
 Scale: 1"=60'  
 Checked: AB  
 Date

THE BONGIOVANNI GROUP, INC.  
 LAND SURVEYORS  
 1000 Main Street  
 Newington, Conn. 06111  
 TEL: (860) 666-0154  
 FAX: (860) 666-5850

Sheet  
**3** of **18**

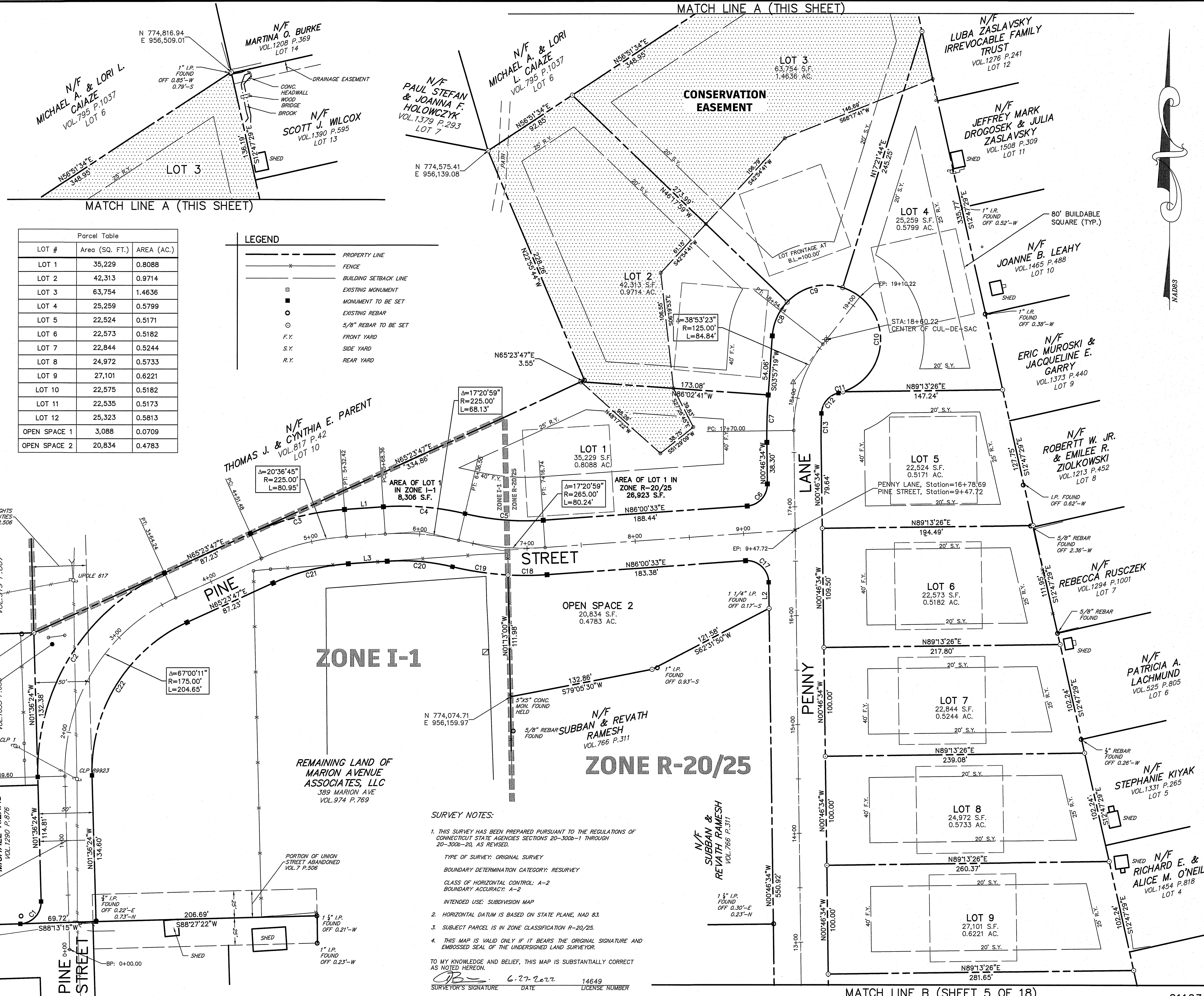
Curve #	Delta	Radius	Length
C1	089°13'30"	20.00'	31.14'
C2	067°00'11"	200.00'	233.88'
C3	020°36'45"	250.00'	89.94'
C4	017°20'59"	250.00'	75.70'
C5	017°20'59"	240.00'	72.67'
C6	086°47'06"	20.00'	30.29'
C7	004°43'53"	525.00'	43.35'
C8	039°43'57"	50.00'	34.67'
C9	063°39'43"	50.00'	55.56'
C10	144°54'35"	50.00'	126.46'
C11	004°55'33"	20.00'	4.30'
C12	074°51'56"	20.00'	26.13'
C13	003°06'30"	475.00'	25.77'
C14	073°23'54"	20.00'	25.62'
C15	117°28'13"	50.00'	102.51'
C16	126°42'52"	50.00'	110.58'
C17	093°12'54"	20.00'	32.54'
C18	007°07'44"	290.00'	36.08'
C19	010°13'15"	290.00'	51.73'
C20	017°20'59"	200.00'	60.56'
C21	020°36'45"	200.00'	71.95'
C22	067°00'11"	150.00'	175.41'

Line #	Direction	Length
L1	N86°00'33"E	35.94'
L2	N0°46'34"W	24.08'
L3	N86°00'33"E	35.94'

Parcel #	Area (SQ. FT.)	AREA (AC.)
LOT 1	35,229	0.8088
LOT 2	42,313	0.9714
LOT 3	63,754	1.4636
LOT 4	25,259	0.5799
LOT 5	22,524	0.5171
LOT 6	22,573	0.5182
LOT 7	22,844	0.5244
LOT 8	24,972	0.5733
LOT 9	27,101	0.6221
LOT 10	22,575	0.5182
LOT 11	22,535	0.5173
LOT 12	25,323	0.5813
OPEN SPACE 1	3,088	0.0709
OPEN SPACE 2	20,834	0.4783

**LEGEND**

- PROPERTY LINE
- - - FENCE
- - - BUILDING SETBACK LINE
- ▣ EXISTING MONUMENT
- MONUMENT TO BE SET
- EXISTING REBAR
- 5/8" REBAR TO BE SET
- F.Y. FRONT YARD
- S.Y. SIDE YARD
- R.Y. REAR YARD

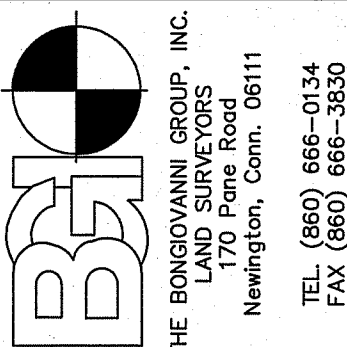


**SURVEY NOTES:**

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS REVISED.
- HORIZONTAL DATUM IS BASED ON STATE PLANE, NAD 83.
- SUBJECT PARCEL IS IN ZONE CLASSIFICATION R-20/25.
- THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

*AS*  
 SURVEYOR'S SIGNATURE      DATE: 6-27-2022      LICENSE NUMBER: 14649



Scale	Checked	Date
1"=40'	AB	
Drawn	BTM	
Revision		

PENNY LANE SUBDIVISION  
 PREPARED FOR  
 LEPAGE HOMES, INC.  
 347, 349 & 389 MARION AVENUE  
 SOUTHINGTON, CONNECTICUT

ORIGINAL SURVEY (SUBDIVISION PLAN)

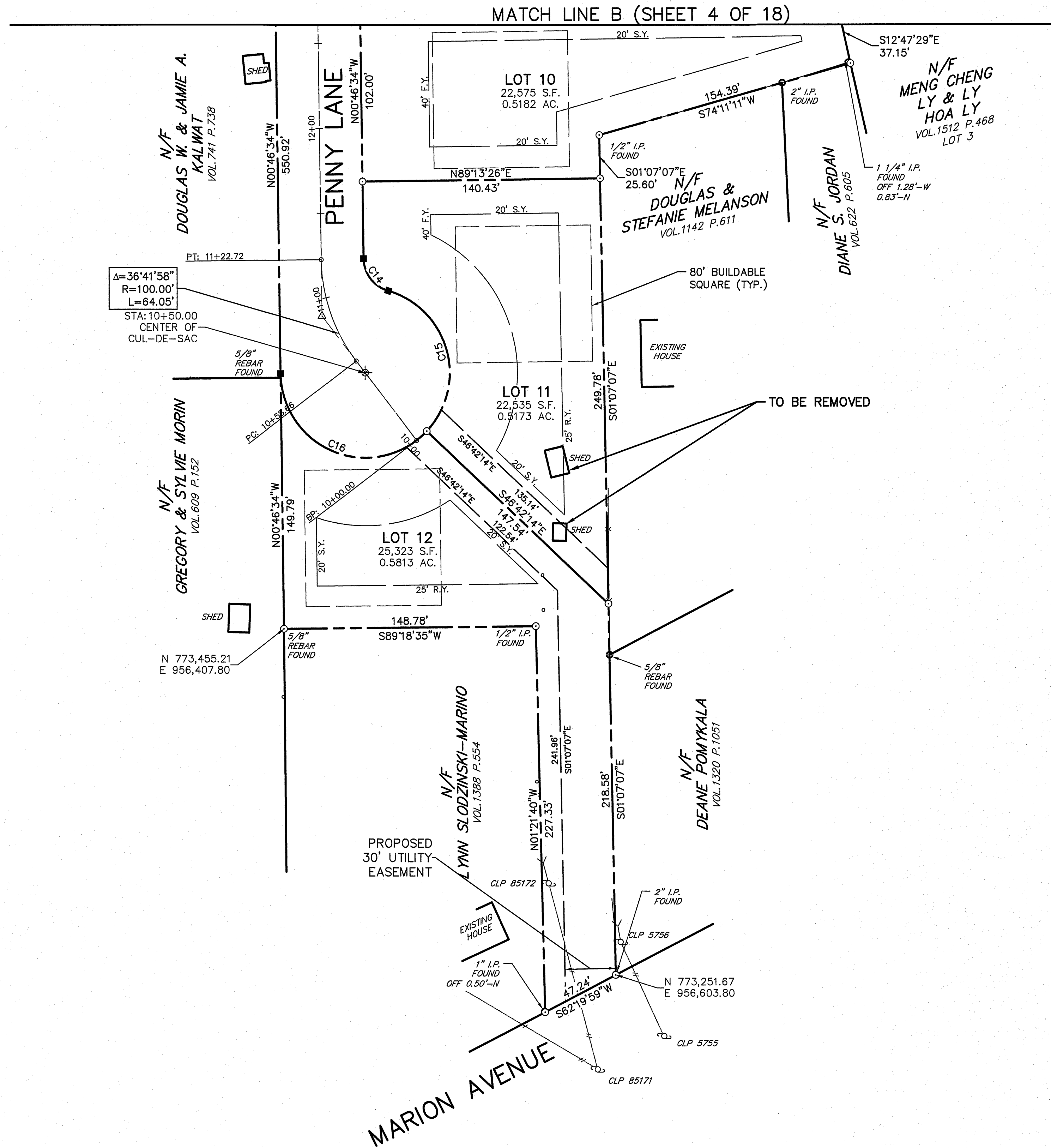
**LEGEND**

- PROPERTY LINE
- FENCE
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Curve Table			
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LOT 8	24,972	0.5733
LOT 9	27,101	0.6221
LOT 10	22,575	0.5182
LOT 11	22,535	0.5173
LOT 12	25,323	0.5813
OPEN SPACE 1	3,088	0.0709
OPEN SPACE 2	20,834	0.4783

Line Table		
Line #	Direction	Length
L1	N86°00'33"E	35.94'
L2	N0°46'34"W	24.08'
L3	N86°00'33"E	35.94'



**SURVEY NOTES:**

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS REVISED.  
 TYPE OF SURVEY: ORIGINAL SURVEY  
 BOUNDARY DETERMINATION CATEGORY: RESURVEY  
 CLASS OF HORIZONTAL CONTROL: A-2  
 BOUNDARY ACCURACY: A-2  
 INTENDED USE: SUBDIVISION MAP
2. HORIZONTAL DATUM IS BASED ON STATE PLANE, NAD 83.
3. SUBJECT PARCEL IS IN ZONE CLASSIFICATION R-20/25.
4. THIS MAP IS VALID ONLY IF IT BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
 SURVEYOR'S SIGNATURE: *[Signature]* DATE: 6-27-2022 LICENSE NUMBER: 14649

GRAPHIC SCALE  
 1 inch = 40 ft.  
 (IN FEET)

NAD83

**BGI**  
 THE BONGIOVANNI GROUP, INC.  
 LAND SURVEYORS  
 170 PO BOX 7005  
 NEWINGTON, Conn. 06111  
 TEL: (860) 686-0134  
 FAX: (860) 686-3830

Scale: 1"=40'
Check: AB
Date
Revision

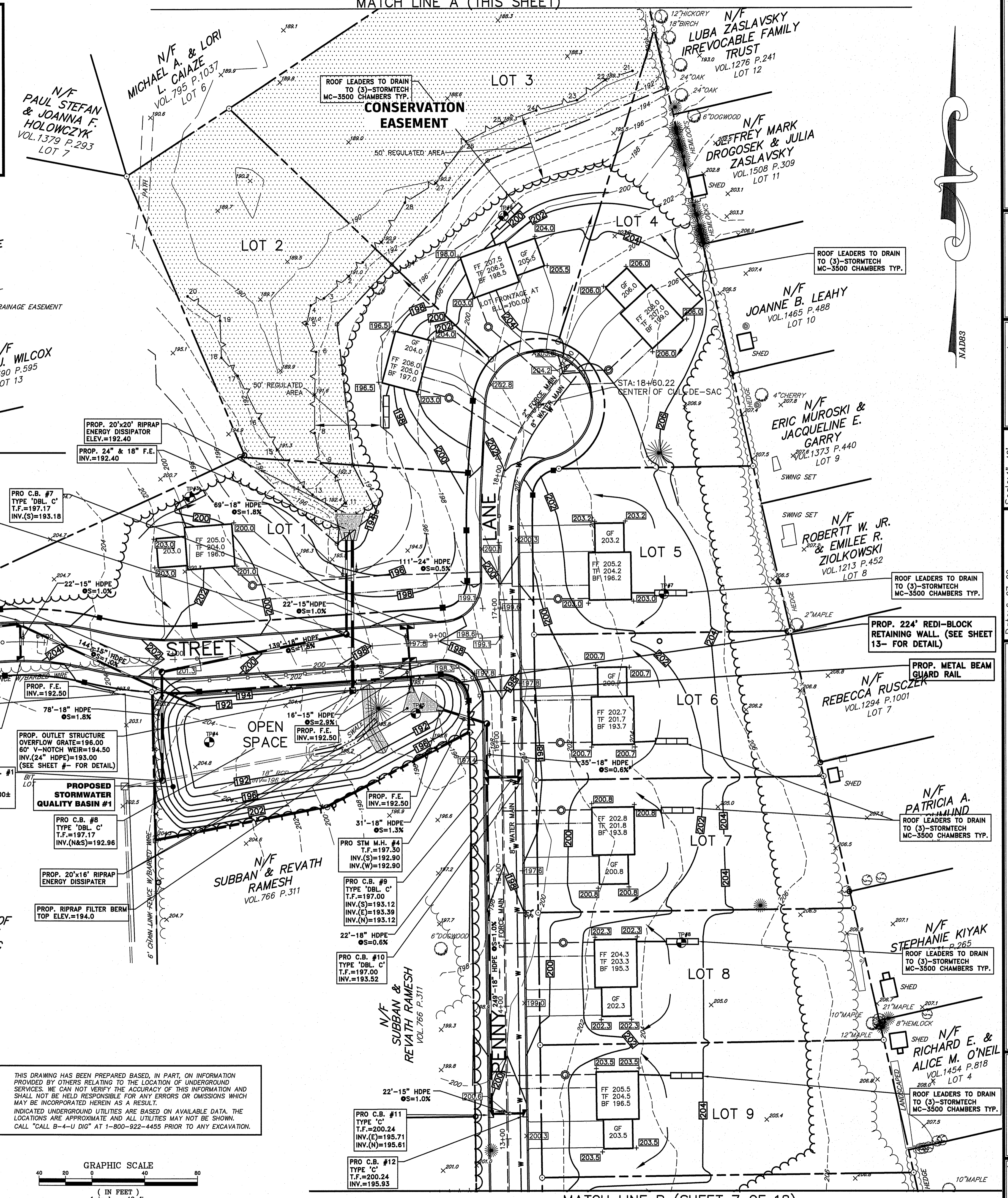
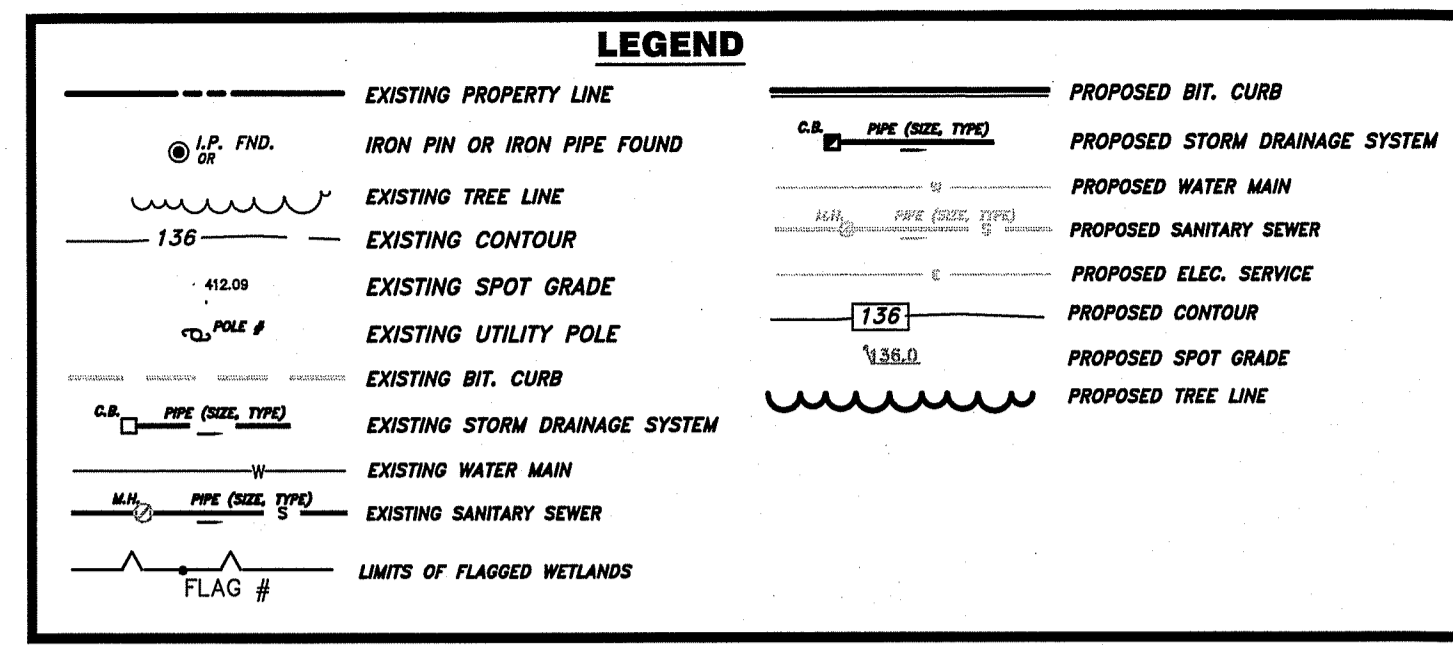
Date: 6-27-22  
 Drawn: BTM

**PENNY LANE SUBDIVISION  
 PREPARED FOR  
 LEPAGE HOMES, INC.  
 347, 349 & 389 MARION AVENUE  
 SOUTHTON, CONNECTICUT**

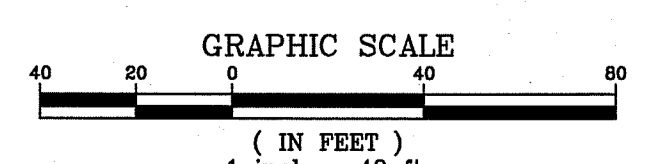
**ORIGINAL SURVEY (SUBDIVISION PLAN)**

Sheet  
**5** of **18**

- SITE DEVELOPMENT NOTES:**
- EXISTING TREES AND SHRUBS SHALL BE PRESERVED WHEREVER PRACTICAL AND/OR DESIRABLE. ALL DEAD OR DISEASED TREES SHALL BE REMOVED FROM THE SITE. TREES & SHRUBS TO BE SAVED ARE TO BE FLAGGED PRIOR TO CONSTRUCTION. NO STUMPS OR BRUSH TO BE BURIED ON SITE, USE APPROVED DISPOSAL FACILITIES.
  - ALL PROPOSED UTILITIES WITHIN THE SUBDIVISION LIMITS SHALL BE LOCATED UNDERGROUND. THE HORIZONTAL AND VERTICAL ALIGNMENT OF SUCH UTILITIES SHALL BE DETERMINED BY THE APPROPRIATE UTILITY COMPANY.
  - THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND HAVE BEEN LOCATED IN THE FIELD WHERE POSSIBLE. THE ACTUAL LOCATION OF THESE UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR - CALL BEFORE YOU DIG #11.
  - ALL LOTS WITH DRAINAGE SWALES ARE SUBJECT TO DRAINAGE RIGHTS TO AND FROM EACH ADJUTING LOT.
  - NO PORTION OF ANY PROPOSED DRIVEWAY SHALL BE WITHIN 5' OF ANY CATCH BASIN.
  - PROPOSED MANHOLES SHALL HAVE PAVEMENT RAMPED OR BE SET FLUSH WITH THE BINDER COURSE OF PAVEMENT. ALL RAMPING TO BE DONE IN ACCORDANCE WITH TOWN SPECIFICATIONS AND AS DIRECTED BY THE TOWN ENGINEER, NO LATER THAN OCTOBER 30.
  - ALL HOUSES SHOULD HAVE THE CAPABILITY TO HAVE BASEMENT SEWER SERVICE WHERE PRACTICAL. BACKWATER VALVES TO BE INSTALLED ON ALL LOTS.
  - ALL WORK IN EXISTING TOWN RIGHTS OF WAY WILL REQUIRE STREET PERMITS ISSUED BY THE ENGINEERING DEPARTMENT.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AND TOWN ENGINEER BEFORE PROCEEDING.
  - GRADES SHALL BE INVESTIGATED FOR CONFLICTS AT UTILITY CROSSING, SUCH CONFLICTS SHALL BE DIRECTED TO THE DESIGN & TOWN ENGINEER FOR RESOLUTION.
  - ALL TREES, BRUSH, STUMPS, EXISTING STRUCTURES AND DEBRIS TO BE REMOVED DURING CONSTRUCTION TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A SUITABLE MANNER. DEAD OR DYING TREES TO BE REMOVED AS THEY MAY POSE A SAFETY HAZARD. ALL UNSUITABLE MATERIALS DISCOVERED DURING CONSTRUCTION SHALL BE DISPOSED IN A SUITABLE MANNER.
  - NO EARTH SLOPES SHALL EXCEED 3:1. ANY RETAINING WALL THAT MAY BE REQUIRED SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND SHALL PROVIDE PROPER TOP PROTECTION.
  - HOUSES, DRIVES, AND FLOOR ELEVATIONS SHOWN ARE SCHEMATIC AND MAY CHANGE ACCORDING TO TYPE AND LAYOUT OF HOUSE.
  - NO OVERTIGHT OPEN TRENCHES WILL BE PERMITTED ON EXISTING TOWN ROADWAYS.
  - NOTIFY THE TOWN ENGINEER PRIOR TO THE CONSTRUCTION TO ARRANGE A PRE-CONSTRUCTION MEETING.
  - ALL DISTURBED AREAS NOT PAVED OR MULCHED, SHALL BE LOAMED WITH 4" MINIMUM OF TOPSOIL, FERTILIZED AND SEED.
  - ROOF, CELLAR, FOUNDATION AND/OR CURTAIN DRAINS MAY BE CONNECTED TO THE DEVELOPER WILL BE RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTS AND THEIR ASSOCIATED COSTS.
  - CATCH BASIN FRAMES SHALL MATCH ADJUTING CURB TYPES. ALL CATCH BASINS TO HAVE GALVANIZED FRAMES AND GRATES.
  - MINIMUM COVER ON STORM DRAINAGE TO BE 2.0 FEET FOR HDPE PIPE OR 12" FOR R.C.P. - CLASS V
  - ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE TOWN SPECIFICATION.
  - FIRE HYDRANTS TO BE INSTALLED 2' BEHIND CURB WITH GROUND CLEARANCE OF 18' TO PUMP CONNECTION LOCATION.
  - DRIVEWAY LIPS AND PAVED APRONS SHALL BE INSTALLED ON ALL LOTS. SHOULD INDIVIDUAL LOTS BE SOLD, THE DEVELOPER SHOULD INSURE THAT ANY CONDITIONS IMPOSED ON ANY LOT BE CLEARLY NOTED IN THE CONTRACT FOR SALE. IT WILL BE THE TOWN'S POSITION THAT ALL IMPROVEMENTS WILL BE THE RESPONSIBILITY OF THE DEVELOPER. IF THE DEVELOPER ASSIGNS ANY OF THESE REQUIREMENTS TO THE BUYER, THEY SHOULD BE CLEARLY NOTED.
  - ALL HOMES TO BE CONSTRUCTED ARE TO HAVE NUMBERS, AS PER TOWN ORDINANCE AND MUST BE VISIBLE FROM THE STREET.
  - THERE ARE TO BE TWO STREET TREES PER LOT AS PER THE SUBDIVISION REGULATIONS.
  - UNDERDRAINS IN THE ROAD TO BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS OR TOWN ENGINEER AS NEEDED.
  - ALL PROPOSED SWALES TO BE CONSTRUCTED IN CONJUNCTION WITH THE DRAINAGE SYSTEM.
  - STREET SIGN TO BE INSTALLED AND REMAIN VISIBLE DURING ALL STAGES OF CONSTRUCTION. TEMPORARY STREET SIGNS ARE TO BE ERCTED PRIOR TO WORK COMMENCEMENT.
  - WATER AND GAS GRATES TO BE SET TO BINDER COURSE; ADJUST WITH RINGS TO FINAL FINISH PAVEMENT GRADES. 31. NO STUMPS OR BRUSH TO BE BURIED ON SITE, USE APPROVED DISPOSAL FACILITIES.
  - ALL TRENCHES INCLUDING SANITARY SEWERS TO BE BACK FILLED WITH GRAVEL. WATER MAINS TO BE TESTED TO 150 PSI, CHLORINATION BY INJECTION METHOD AND DECHLORINATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE COORDINATED WITH THE MDC.
  - SEWER TO BE INSTALLED INCLUDING LATERALS TO STREET LINES AND AIR TESTED AND VIDEO TAPED PRIOR TO ACCEPTANCE BY THE MDC.



THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CAN NOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. CALL "CALL BE-4-U DIG" AT 1-800-922-4455 PRIOR TO ANY EXCAVATION.



**HALLISEY, PEARSON & CASSIDY**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 450 MAIN STREET, UNIT #1A  
 NEWINGTON, CONN. 06111  
 PHONE: (860) 455-6012 FAX: (860) 741-7709

**BGI**  
 THE BONGIOVANNI GROUP, INC.  
 170 PINE ROAD  
 NEWINGTON, CONN. 06111  
 TEL: (860) 666-0134  
 FAX: (860) 666-3530

Date: 6-27-22  
 Drawn: BIM  
 Checked: AB

**PENNY LANE SUBDIVISION**  
 PREPARED FOR  
**LEPAGE HOMES, INC.**  
 347, 349 & 389 MARION AVENUE  
 SOUTHTON, CONNECTICUT

**GRADING PLAN**

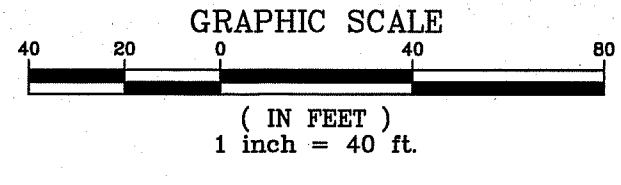
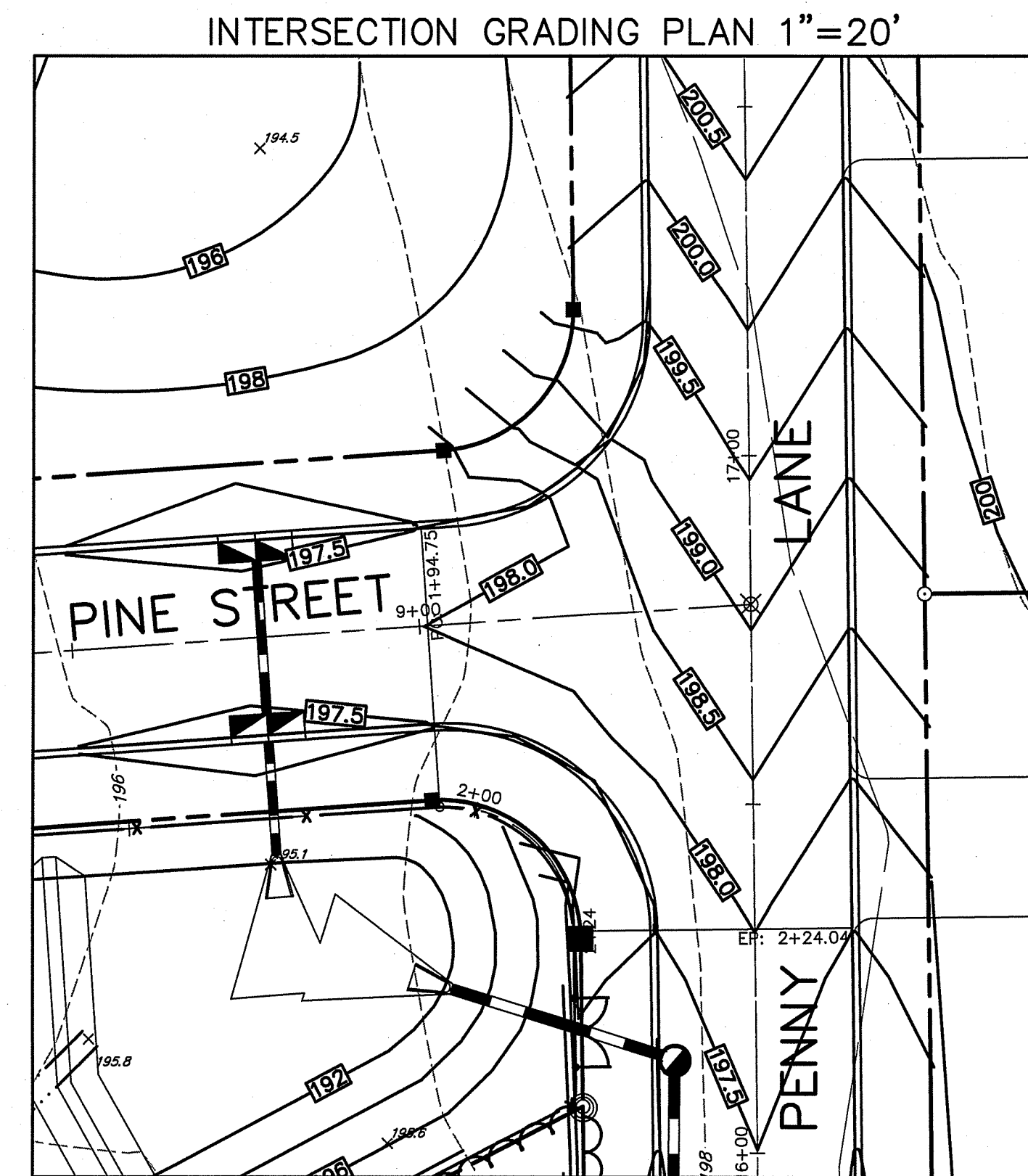
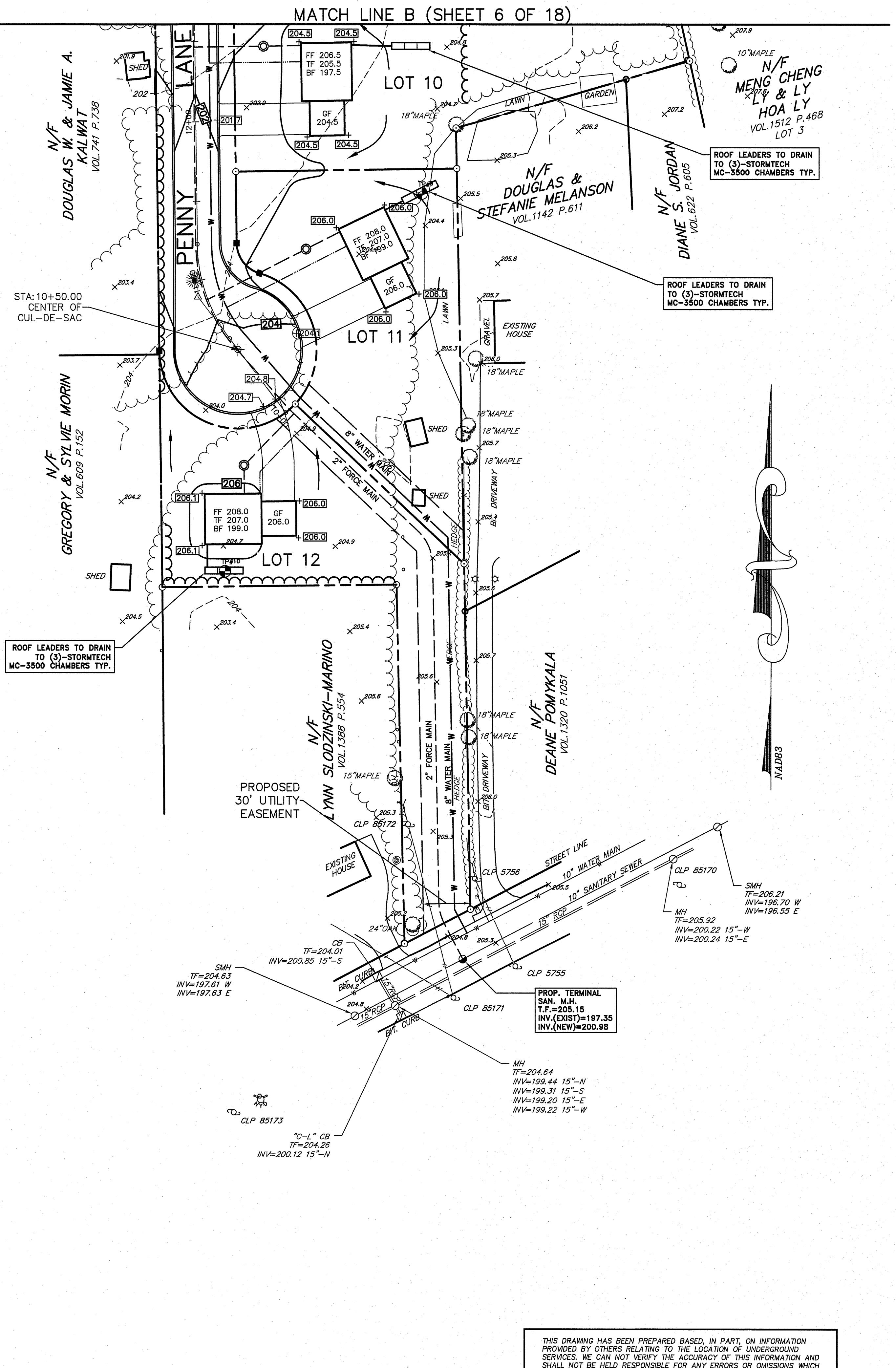
Sheet **6** of **18**

21103

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**LEGEND**

	EXISTING PROPERTY LINE		PROPOSED BIT. CURB
	IRON PIN OR IRON PIPE FOUND		PROPOSED STORM DRAINAGE SYSTEM
	EXISTING TREE LINE		PROPOSED WATER MAIN
	EXISTING CONTOUR		PROPOSED SANITARY SEWER
	EXISTING SPOT GRADE		PROPOSED ELEC. SERVICE
	EXISTING UTILITY POLE		PROPOSED CONTOUR
	EXISTING BIT. CURB		PROPOSED SPOT GRADE
	EXISTING STORM DRAINAGE SYSTEM		PROPOSED TREE LINE
	EXISTING WATER MAIN		
	EXISTING SANITARY SEWER		
	LIMITS OF FLAGGED WETLANDS		



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**HALLISEY, PEARSON & CASSIDY**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 630 MAIN STREET, SUITE 416  
 CHROME HILL, CONNECTICUT 06016  
 PHONE: (860) 252-8912, FAX: (860) 741-7708

**BGI**  
 THE BONGIOVANNI GROUP, INC.  
 LAND SURVEYORS  
 225 WASHINGTON STREET  
 NEWINGTON, CONN. 06111  
 TEL: (860) 666-0754  
 FAX: (860) 669-9550

Date: 6-27-22	Scale: 1"=40'
Drawn: BTM	Checked: AB
Revision	Date

**PENNY LANE SUBDIVISION**  
 PREPARED FOR  
**LEPAGE HOMES, INC.**  
 347, 349 & 389 MARION AVENUE  
 SOUTHTON, CONNECTICUT

GRADING PLAN

Sheet 7 of 18

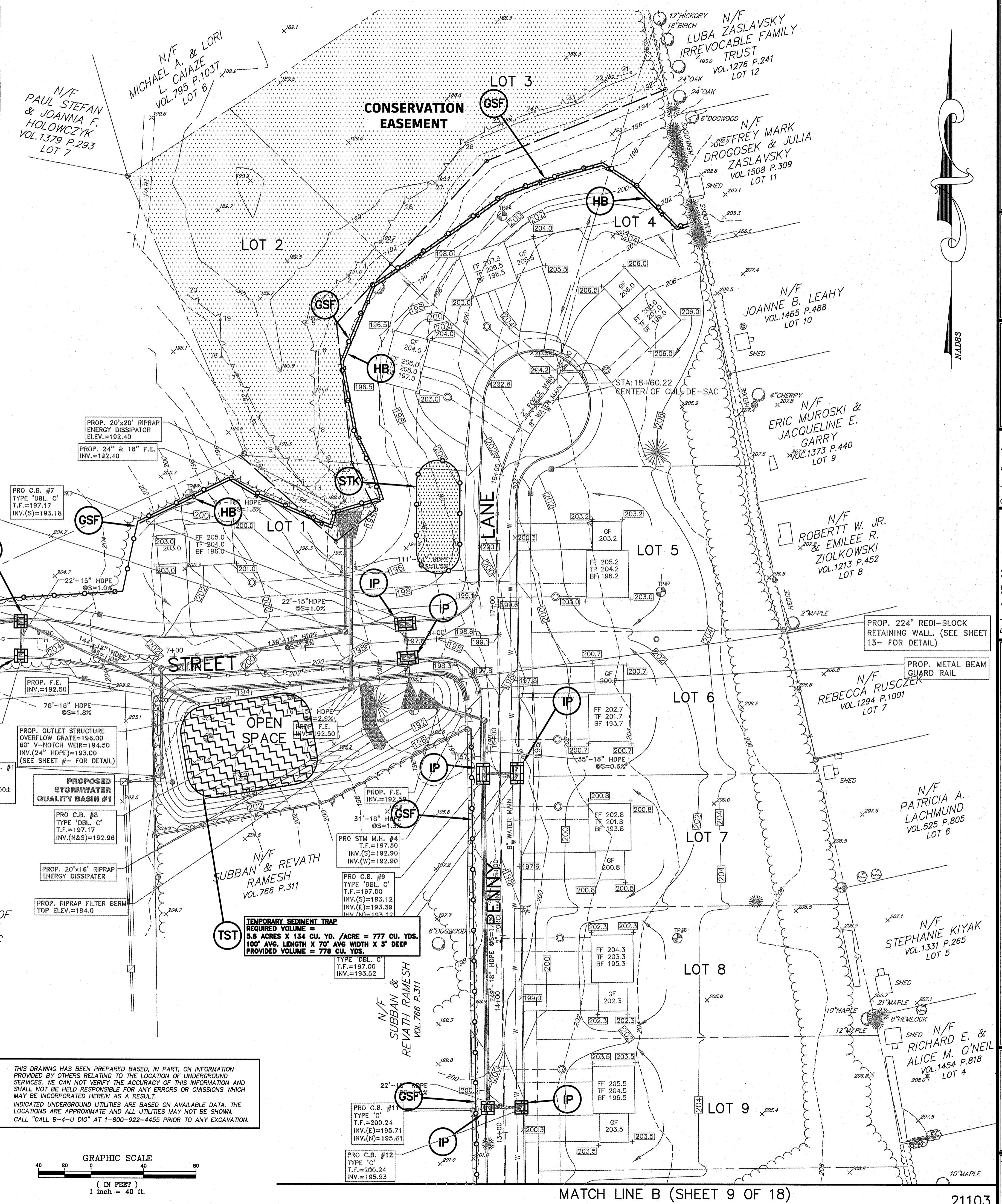
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LEGEND	
---	EXISTING PROPERTY LINE
○ I.P. FND.	IRON PIN OR IRON PIPE FOUND
---	EXISTING TREE LINE
- - - -	EXISTING CONTOUR
---	EXISTING SPOT GRADE
---	EXISTING UTILITY POLE
---	EXISTING BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM
---	EXISTING WATER MAIN
---	EXISTING SANITARY SEWER
---	LIMITS OF FLAGGED WETLANDS
---	PROPOSED BIT. CURB
---	PROPOSED STORM DRAINAGE SYSTEM
---	PROPOSED WATER MAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED GAS SERVICE
---	PROPOSED ELEC. SERVICE
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	PROPOSED TREE LINE

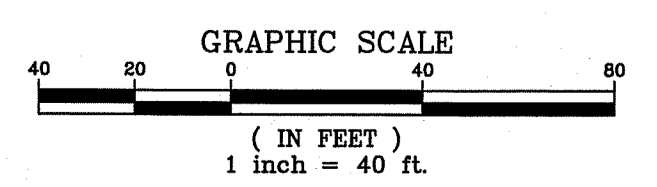
EROSION / SEDIMENT CONTROL LEGEND	
---	GSF SEDIMENT FILTER FENCE
---	HB ROW OF HAY BALES
---	CE CONSTRUCTION ENTRANCE
---	STK TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
---	IP INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS). INSTALL FILTER FABRIC ENVELOPES IN ALL CATCH BASIN GRATES
---	TST TEMPORARY SEDIMENT TRAP

**SEDIMENT & EROSION CONTROL NOTES:**

- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AT THE DIRECTION OF THE TOWN ENGINEER. ZONING ENFORCEMENT STAFF MAY MODIFY THE EROSION/SEDIMENTATION CONTROL PLAN AS SITE CONDITIONS WARRANT.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL - CONNECTICUT - 2002" AVAILABLE FROM CONN. DEP.
- THE TOWN OF SOUTHWINGTON RESERVES THE RIGHT TO REVISE THE EROSION CONTROL PLANS AS CONDITIONS MAY WARRANT.
- ALL AREAS THAT ARE TO BE DISTURBED SHALL BE KEPT TO A MINIMUM. AREAS NOT TO BE PAVED SHALL BE LOAMED, LIMED, FERTILIZED, AND SEEDED AS SOON AS PRACTICAL. IF PERMANENT PLANTING IS NOT PRACTICAL AT THAT TIME, THE AREA SHALL BE MULCH STABILIZED UNTIL SUCH SEEDING CAN BE DONE. SLOPES STEEPER THAN 3:1 SHALL BE FURTHER STABILIZED USING SECURED JUTE, STRAW, OR COCONUT MATTING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. EXCESS SEDIMENT SHALL BE REDISTRIBUTED ON THE SITE.
- AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE STABILIZED AGAINST WIND EROSION BY APPLYING CALCIUM CHLORIDE AND/OR WATER TO THE SURFACE AS REQUIRED.
- THE ANTI-TRACKING RAMPS SHALL BE INSTALLED PRIOR TO ROUGH GRADING.
- TOPSOIL SHALL BE STOCKPILED IN COMPACT AREAS. THE PILE(S) SHALL BE STABILIZED USING A TEMPORARY VEGETATIVE COVER OR WITH JUTE MATTING. A CONTINUOUS STAKED SILT FENCE SHALL BE INSTALLED AROUND THE BASE PERIMETER(S).
- ALL EXISTING VEGETATIVE COVER NOT REQUIRED TO BE REMOVED FOR CONSTRUCTION SHALL REMAIN UNDISTURBED.
- PERMANENT VEGETATIVE COVER SHALL CONFORM TO SEEDING SCHEDULES GIVEN IN FIG. 6-2 & 6-3 AND TEMPORARY VEGETATIVE COVER SHALL CONFORM TO FIG. 6-1 FOUND IN THE "GUIDELINES FOR EROSION AND SEDIMENT CONTROL, 1995."
- ALL SEDIMENT CONTROL DEVICES AND/OR MEASURES SHALL BE APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION AND/OR THE INLAND WETLAND AND WATERCOURSES AGENCY.
- CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION/SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND APPROVED PRIOR TO CONSTRUCTION.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN AN APPROVED NON-WETLAND & NON-FLOOD PLAIN AREAS.
- THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES ON THESE PLANS IS: BILL LEPAGE, TEL. 860-621-3262.
- EXISTING STRUCTURES AND DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A SUITABLE MANNER.



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MATCH LINE B (SHEET 9 OF 18)

**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & SURVEYORS  
100 MAIN STREET, SUITE 201  
SOUTHWINGTON, CONNECTICUT 06488  
PHONE: (860) 528-8912, FAX: (860) 521-7796

**BGI**  
THE BONGIOVANNI GROUP, INC.  
LAND SURVEYORS  
100 MAIN STREET, SUITE 201  
SOUTHWINGTON, Conn. 06411  
TEL: (860) 666-0134  
FAX: (860) 669-3330

Scale: 1"=40'	Checked: AB	Date:
Drawn: BTM	Revision:	

PENNY LANE SUBDIVISION  
PREPARED FOR  
**LEPAGE HOMES, INC.**  
347, 349 & 389 MARION AVENUE  
SOUTHWINGTON, CONNECTICUT

EROSION & SEDIMENT CONTROL PLAN

Sheet 8 of 18

21103

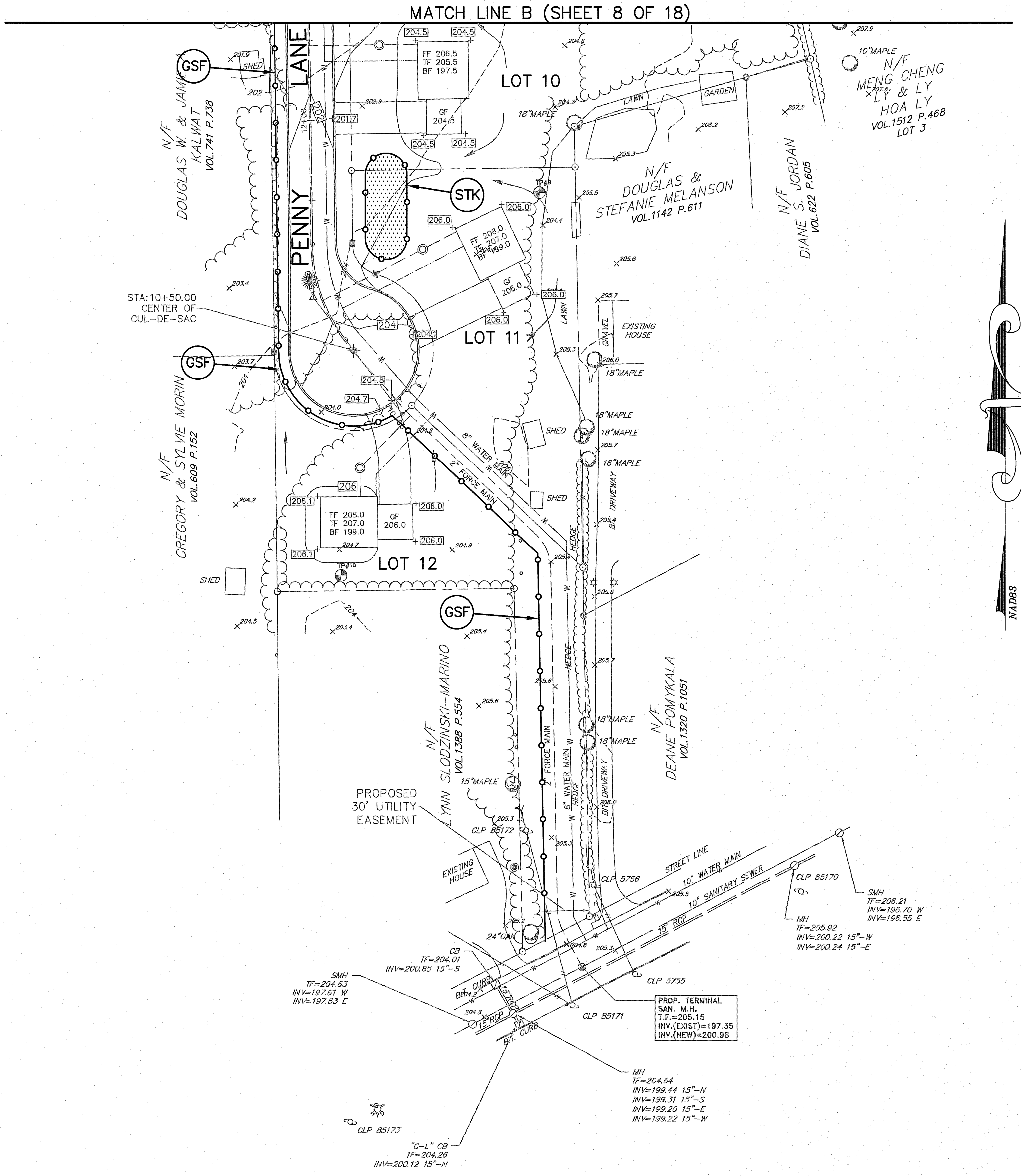


LEGEND	
---	EXISTING PROPERTY LINE
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---	EXISTING TREE LINE
---	EXISTING CONTOUR
---	EXISTING SPOT GRADE
---	EXISTING UTILITY POLE
---	EXISTING BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM
---	EXISTING WATER MAIN
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---	LIMITS OF FLAGGED WETLANDS
---	PROPOSED BIT. CURB
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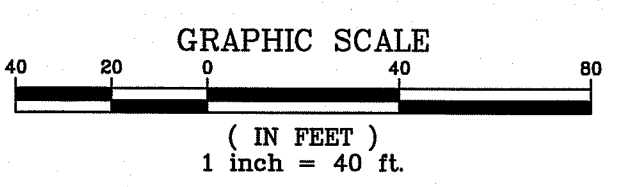
EROSION / SEDIMENT CONTROL LEGEND	
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4. ALL AREAS THAT ARE TO BE DISTURBED SHALL BE KEPT TO A MINIMUM. AREAS NOT TO BE PAVED SHALL BE LOAMED, LIMED, FERTILIZED, AND SEEDED AS SOON AS PRACTICAL. IF PERMANENT PLANTING IS NOT PRACTICAL AT THAT TIME, THE AREA SHALL BE MULCH STABILIZED UNTIL SUCH SEEDING CAN BE DONE. SLOPES STEEPER THAN 3:1 SHALL BE FURTHER STABILIZED USING SECURED JUTE, STRAW, OR COCONUT MATTING.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. EXCESS SEDIMENT SHALL BE REDISTRIBUTED ON THE SITE.
6. AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE STABILIZED AGAINST WIND EROSION BY APPLYING CALCIUM CHLORIDE AND/OR WATER TO THE SURFACE AS REQUIRED.
7. THE ANTI-TRACKING RAMPS SHALL BE INSTALLED PRIOR TO ROUGH GRADING.
8. TOPSOIL SHALL BE STOCKPILED IN COMPACT AREAS. THE PILE(S) SHALL BE STABILIZED USING A TEMPORARY VEGETATIVE COVER OR WITH JUTE MATTING. A CONTINUOUS STAKED SILT FENCE SHALL BE INSTALLED AROUND THE BASE PERIMETER(S).
9. ALL EXISTING VEGETATIVE COVER NOT REQUIRED TO BE REMOVED FOR CONSTRUCTION SHALL REMAIN UNDISTURBED.
10. PERMANENT VEGETATIVE COVER SHALL CONFORM TO SEEDING SCHEDULES GIVEN IN FIG. 6-2 & 6-3 AND TEMPORARY VEGETATIVE COVER SHALL CONFORM TO FIG. 6-1 FOUND IN THE "GUIDELINES FOR EROSION AND SEDIMENT CONTROL, 1985."
11. ALL SEDIMENT CONTROL DEVICES AND/OR MEASURES SHALL BE APPROVED BY THE TOWN PLANNING & ZONING COMMISSION AND/OR THE INLAND WETLAND AND WATERCOURSES AGENCY.
12. CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
13. ALL EROSION/SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND APPROVED PRIOR TO CONSTRUCTION.
14. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN AN APPROVED NON-WETLAND & NON-FLOOD PLAIN AREAS.
15. THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES ON THESE PLANS IS: BILL LEPAJE, TEL. 860-621-3282.
16. EXISTING STRUCTURES AND DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A SUITABLE MANNER.



THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CAN NOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. CALL "CALL B-4-U DIG" AT 1-800-922-4455 PRIOR TO ANY EXCAVATION.



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 PHONE: (860) 326-4612, FAX: (860) 721-7799

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 THE BONGIOVANNI GROUP, INC.  
 LAND SURVEYORS  
 1000 WASHINGTON ST., SUITE 101  
 NEWINGTON, CONN. 06111  
 TEL: (860) 666-0334  
 FAX: (860) 666-0335

Date: 6-27-22  
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Scale: 1"=40'  
 Revision  
 Date

**PENNY LANE SUBDIVISION**  
 PREPARED FOR  
**LEPAJE HOMES, INC.**  
 347, 349 & 389 MARION AVENUE  
 SOUTHWINGTON, CONNECTICUT

**EROSION & SEDIMENT CONTROL PLAN**

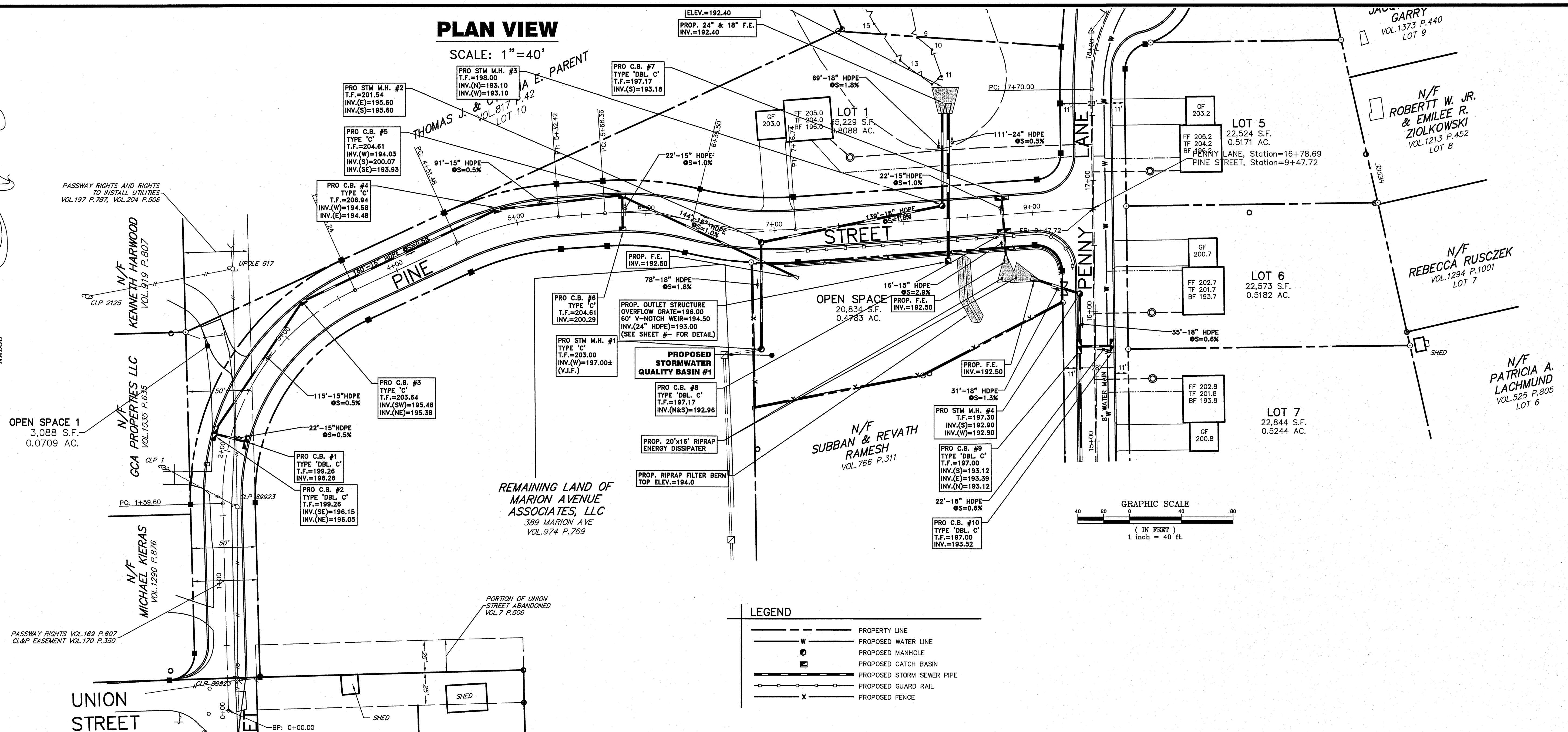
9

18

Sheet of

**PLAN VIEW**

SCALE: 1"=40'

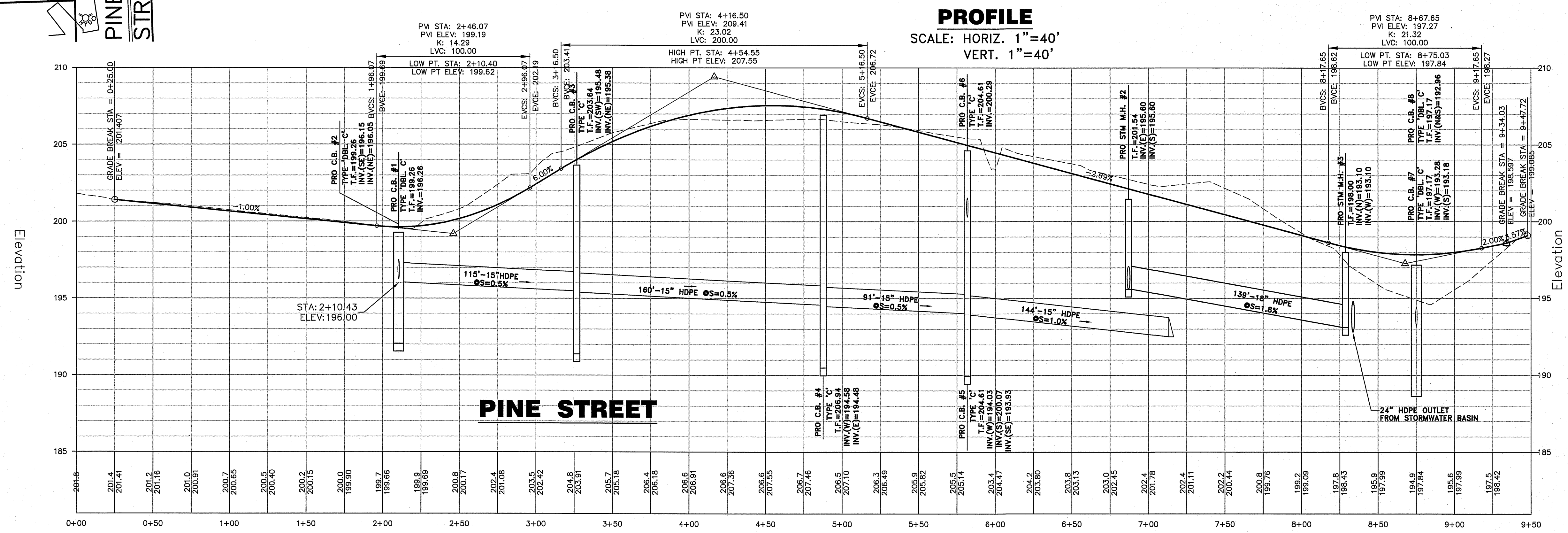


**LEGEND**

- PROPERTY LINE
- PROPOSED WATER LINE
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER PIPE
- PROPOSED GUARD RAIL
- PROPOSED FENCE

**PROFILE**

SCALE: HORIZ. 1"=40'  
VERT. 1"=40'



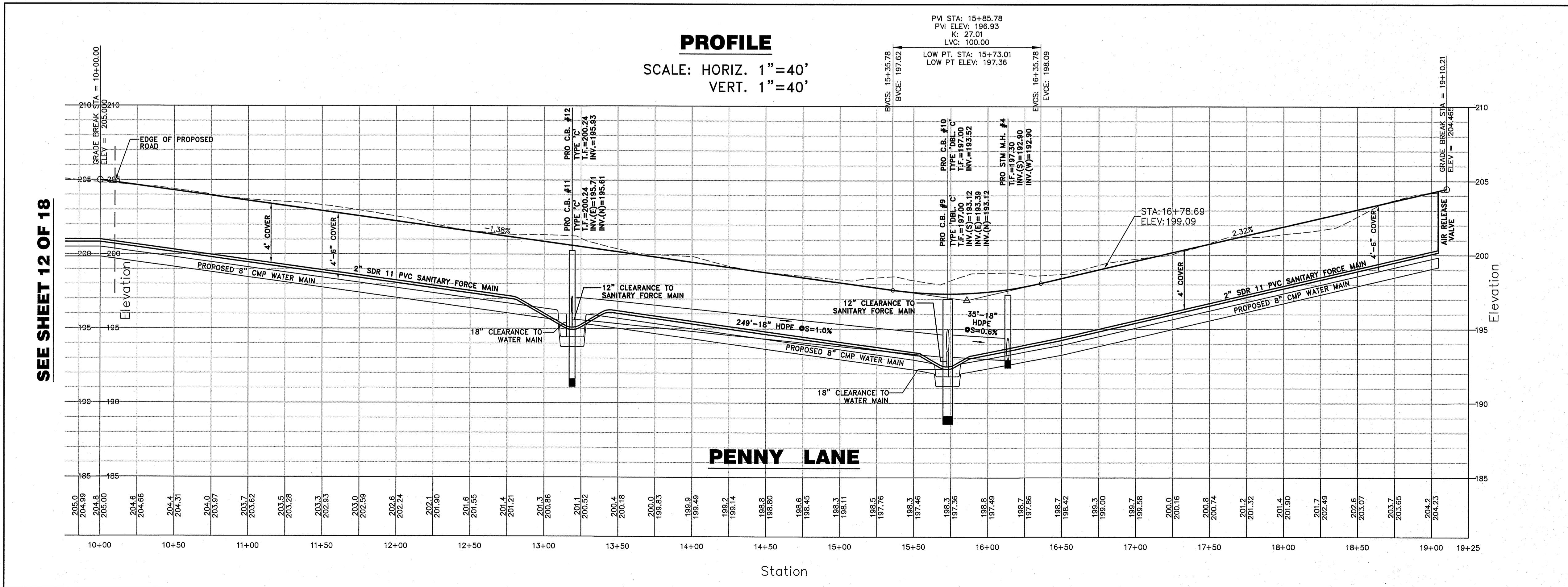
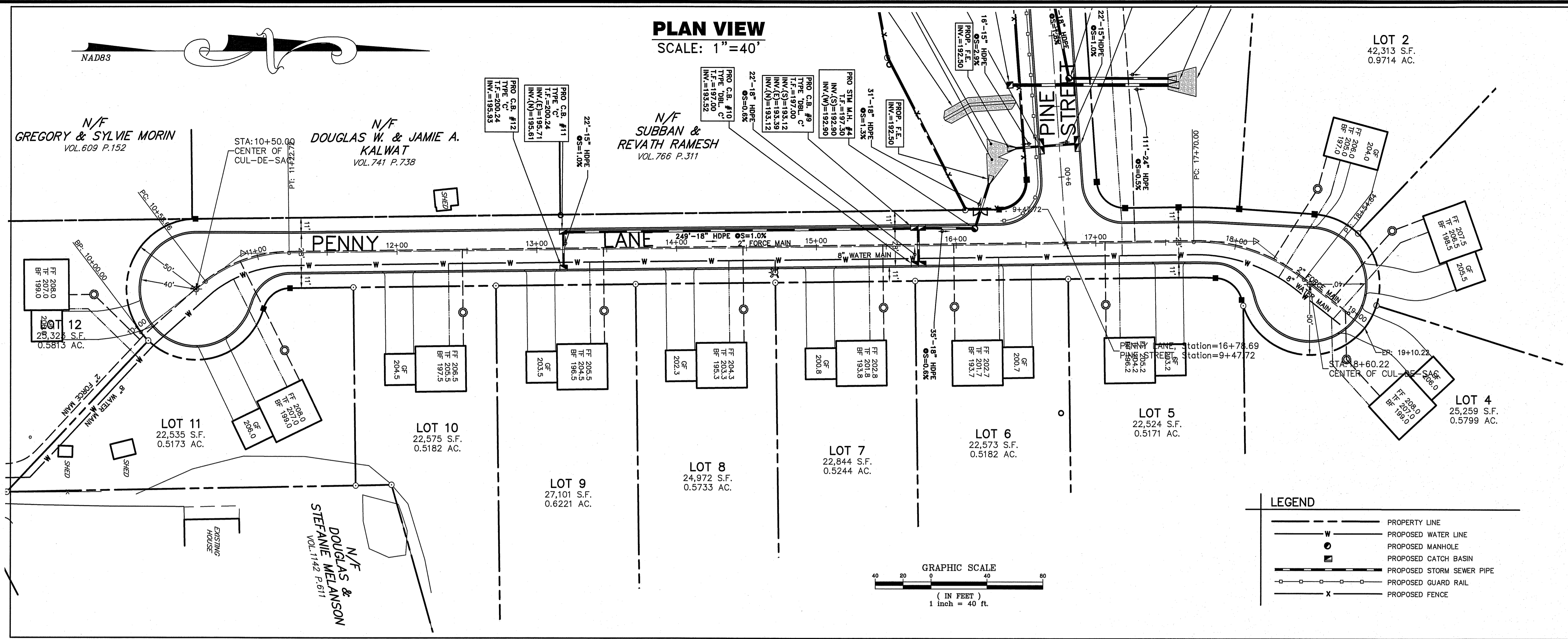
**PINE STREET**

**HALLISEY, PEARSON & CASSIDY**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 1000 WASHINGTON STREET, SUITE 200  
 NEWINGTON, CONNECTICUT 06111  
 PHONE: (860) 532-8812, FAX: (860) 721-7709

**BONGIOVANNI GROUP, INC.**  
 LAND SURVEYORS  
 1000 WASHINGTON STREET, SUITE 200  
 NEWINGTON, CONNECTICUT 06111  
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CIVIL ENGINEERS & LAND SURVEYORS  
170 Pope Road  
Cromwell, Connecticut 06416  
PHONE: (860) 525-8812 FAX: (860) 721-7709

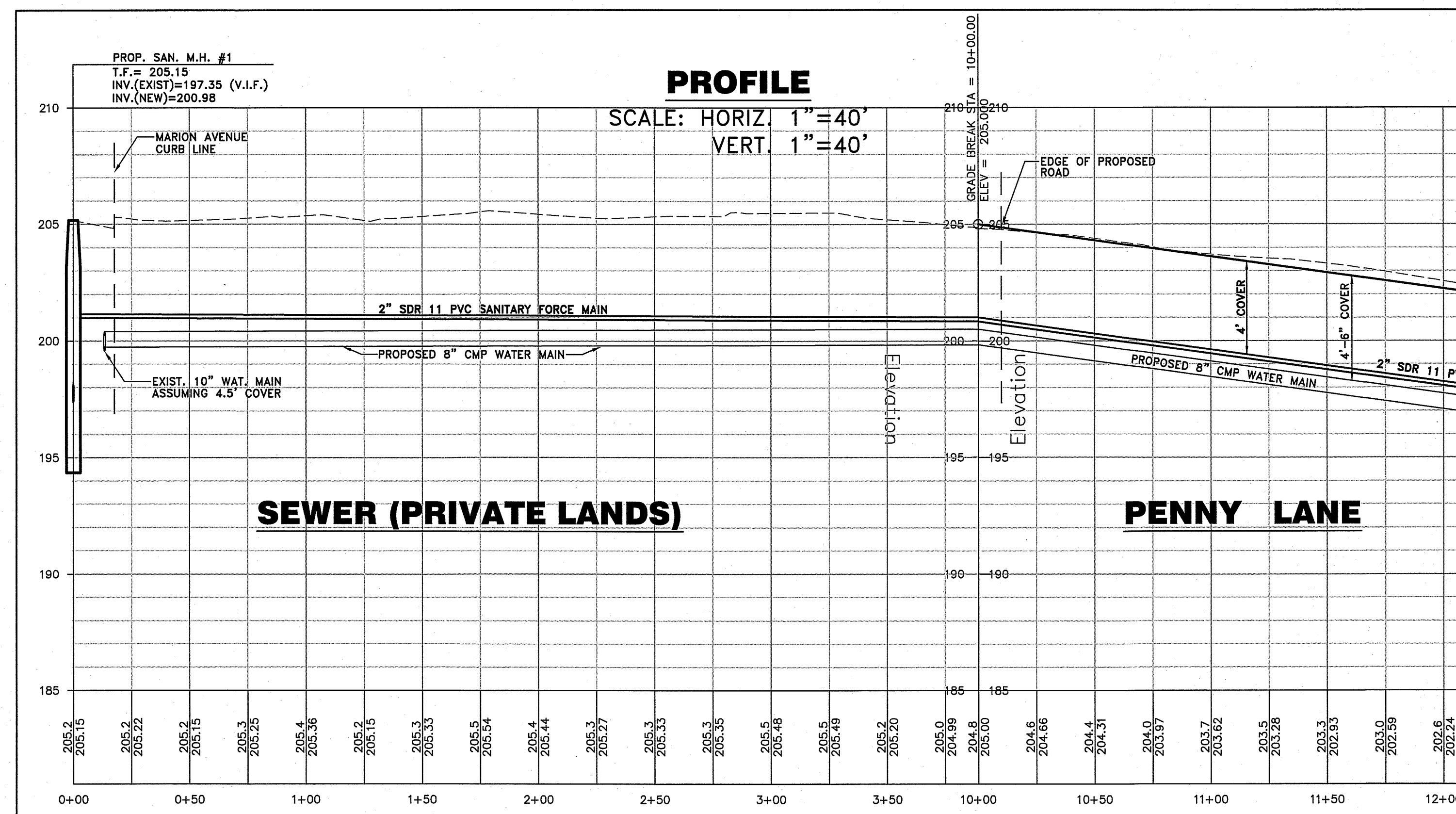
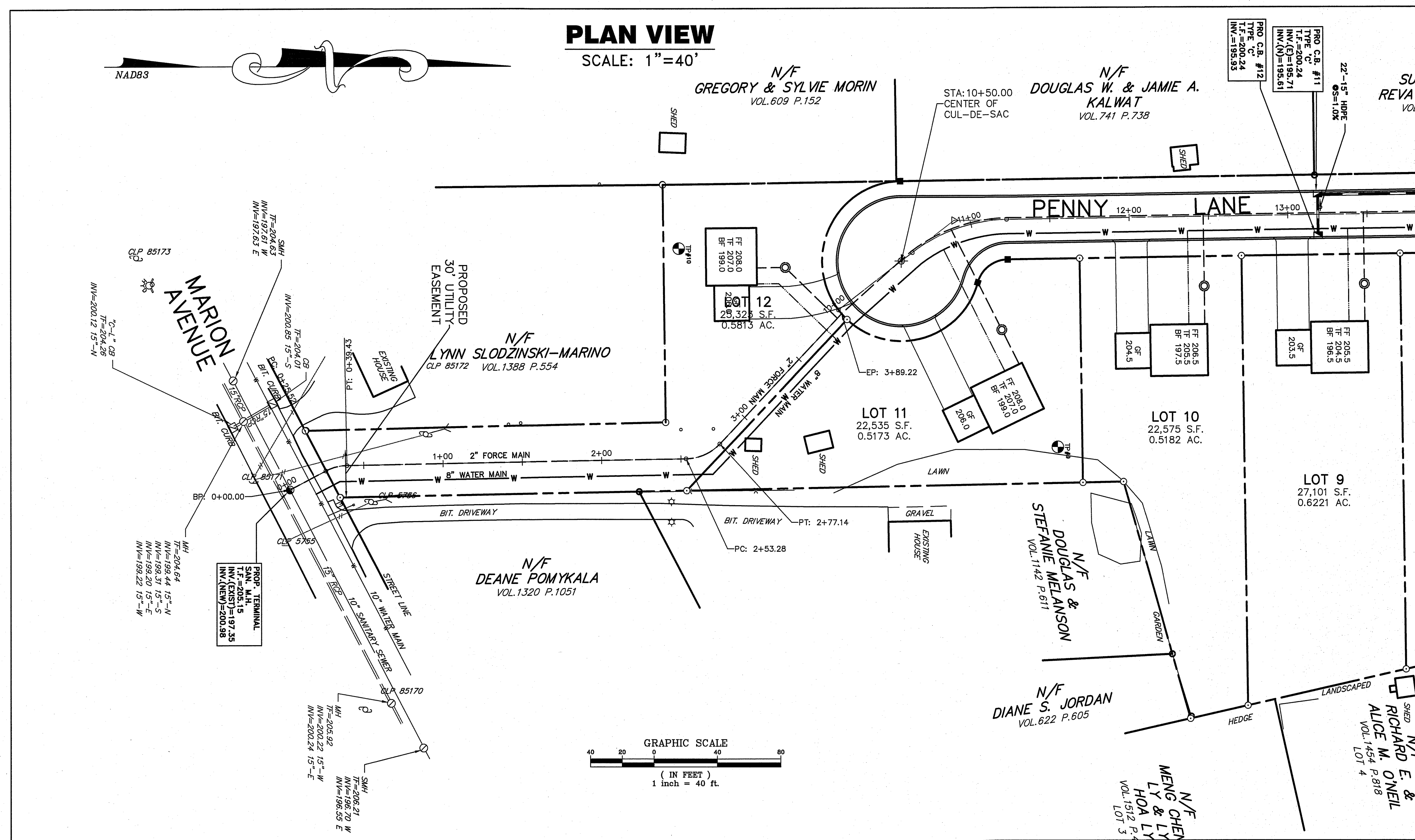
**THE BONGIOVANNI GROUP, INC.**  
LAND SURVEYORS  
170 Pope Road  
Newington, Conn. 06111  
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**PLAN & PROFILE**  
**PENNY LANE**

Sheet **11** of **18**



#### LEGEND

	PROPERTY LINE
	PROPOSED WATER LINE
	PROPOSED MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED STORM SEWER PIPE
	PROPOSED GUARD RAIL
	PROPOSED FENCE

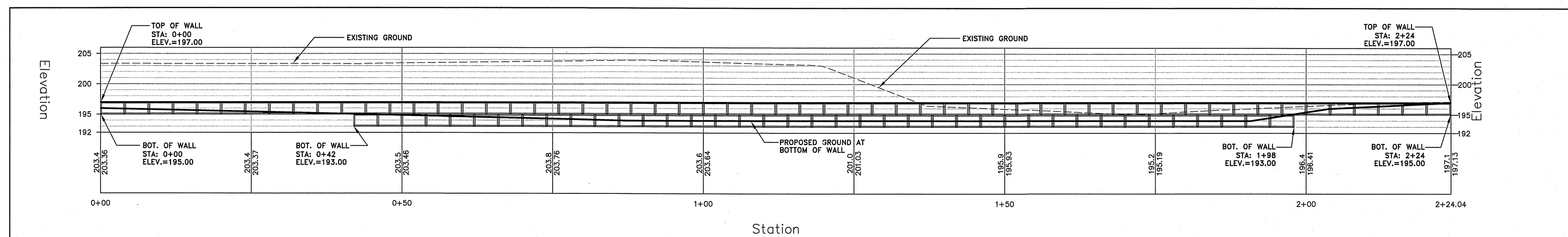
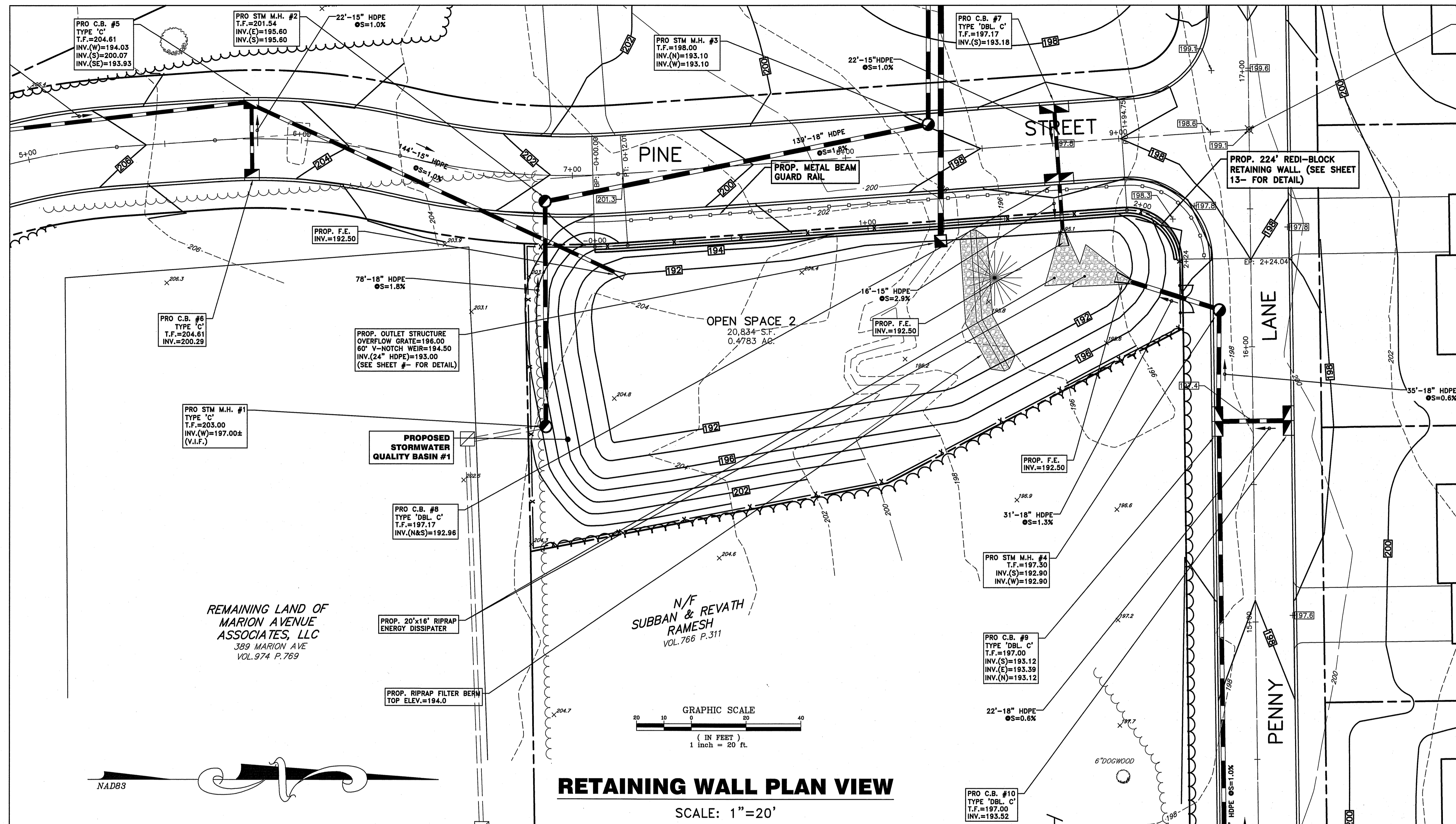
**HALLISEY, PEARSON & CASSIDY**  
 CIVIL ENGINEERS AND SURVEYORS  
 1000 WEST STREET  
 DANBURY, CONNECTICUT 06816  
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**BGI**  
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 LAND SURVEYORS  
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 DANBURY, Conn. 06811  
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Revision	Date

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**PLAN & PROFILE**  
**SANITARY SEWER**



**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
200 W. MAIN ST. SUITE 200  
MIDDLETOWN, CT 06450  
PHONE: (860) 351-8871 FAX: (860) 351-7799

**BGI**  
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LAND SURVEYORS  
1000 ROUTE 100  
NEWINGTON, CT 06111  
TEL: (860) 666-0134  
FAX: (860) 666-3530

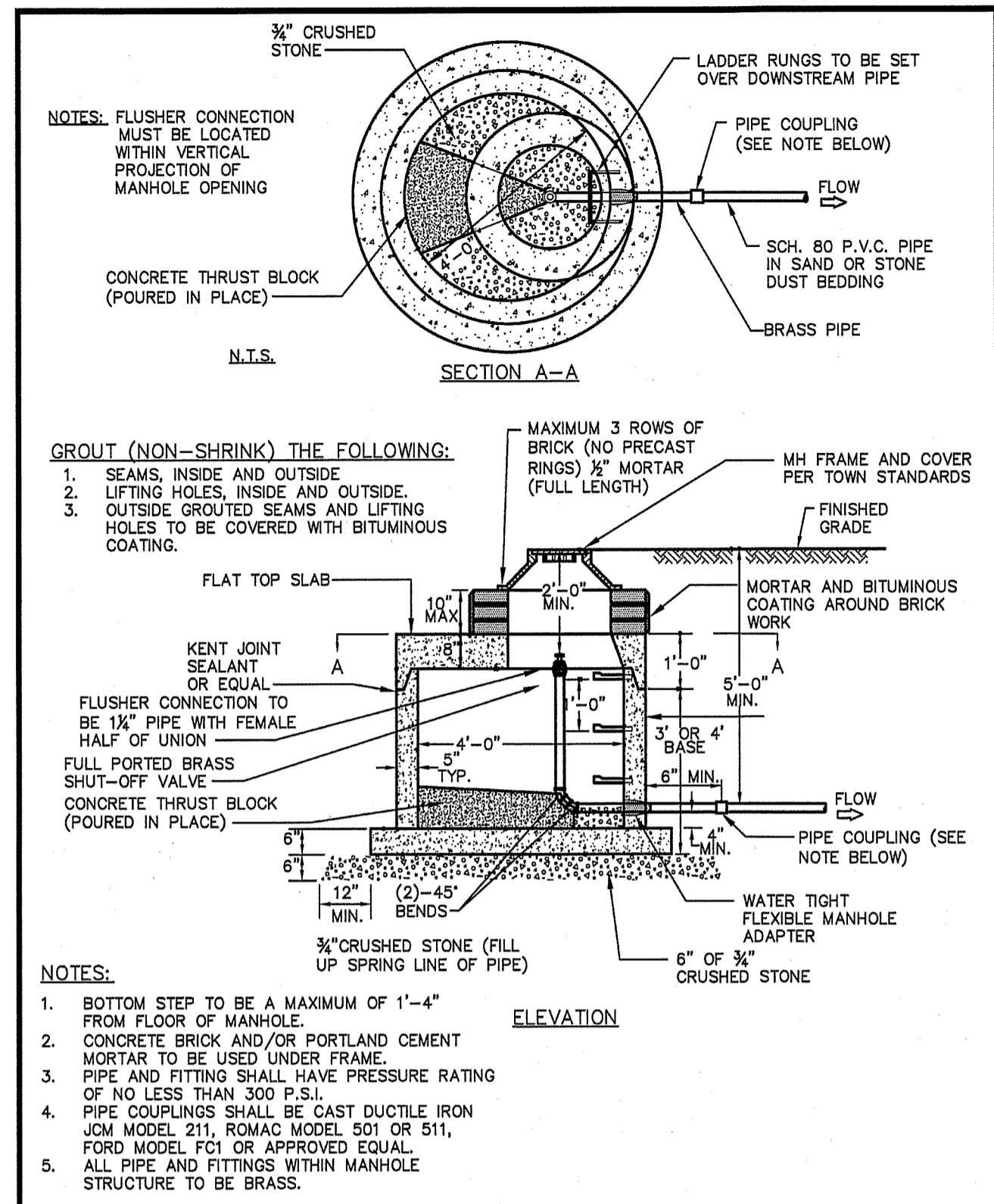
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Date: 8-27-22	Drawn: BTM	Revision:

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ASSOCIATES, LLC  
389 MARION AVE  
VOL. 974 P. 769

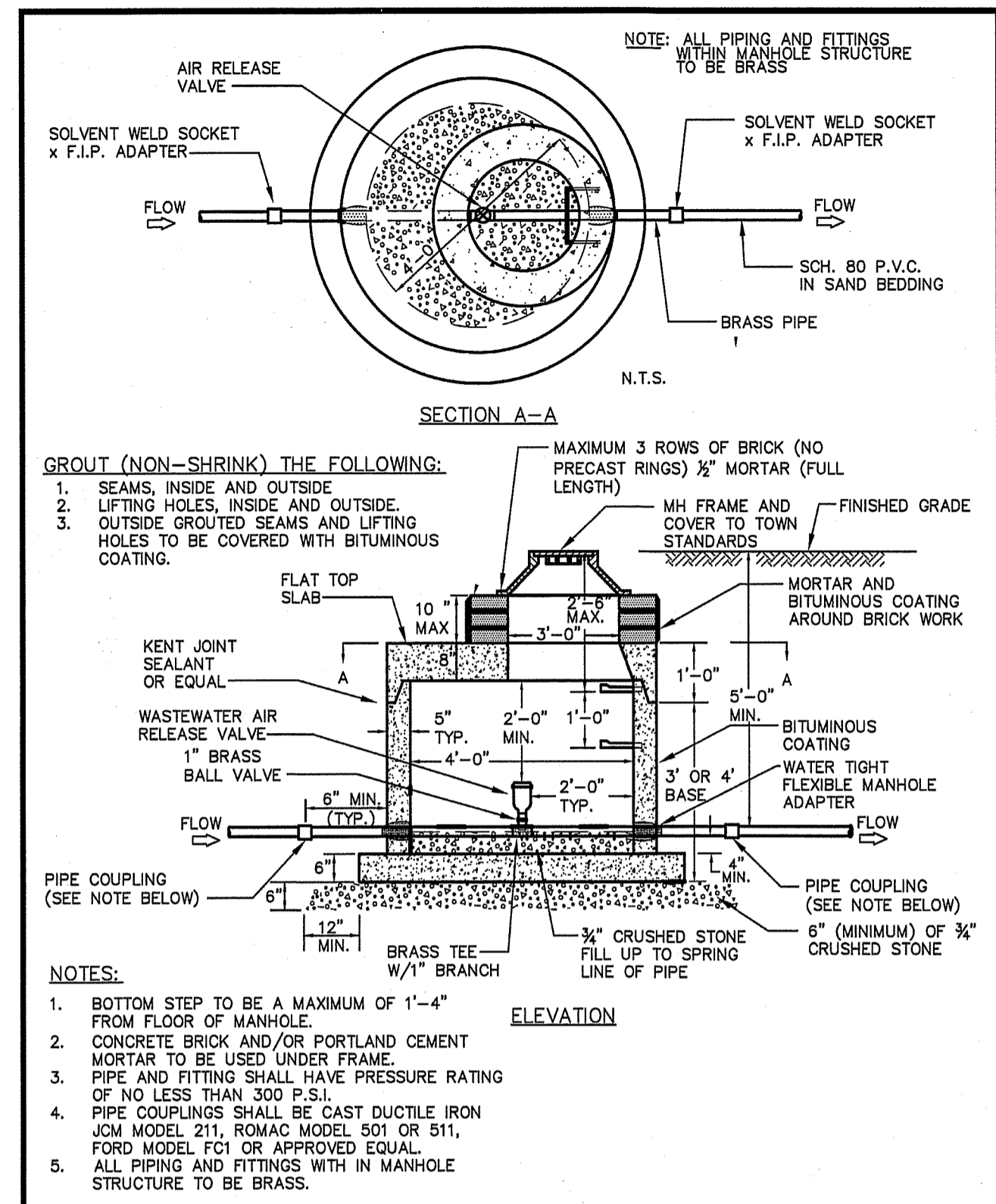
N/F  
SUBBAN & REVATH  
RAMESH  
VOL. 766 P. 311

**PENNY LANE SUBDIVISION**  
PREPARED FOR  
**LEPAGE HOMES, INC.**  
347, 349 & 389 MARION AVENUE  
SOUTHINGTON, CONNECTICUT

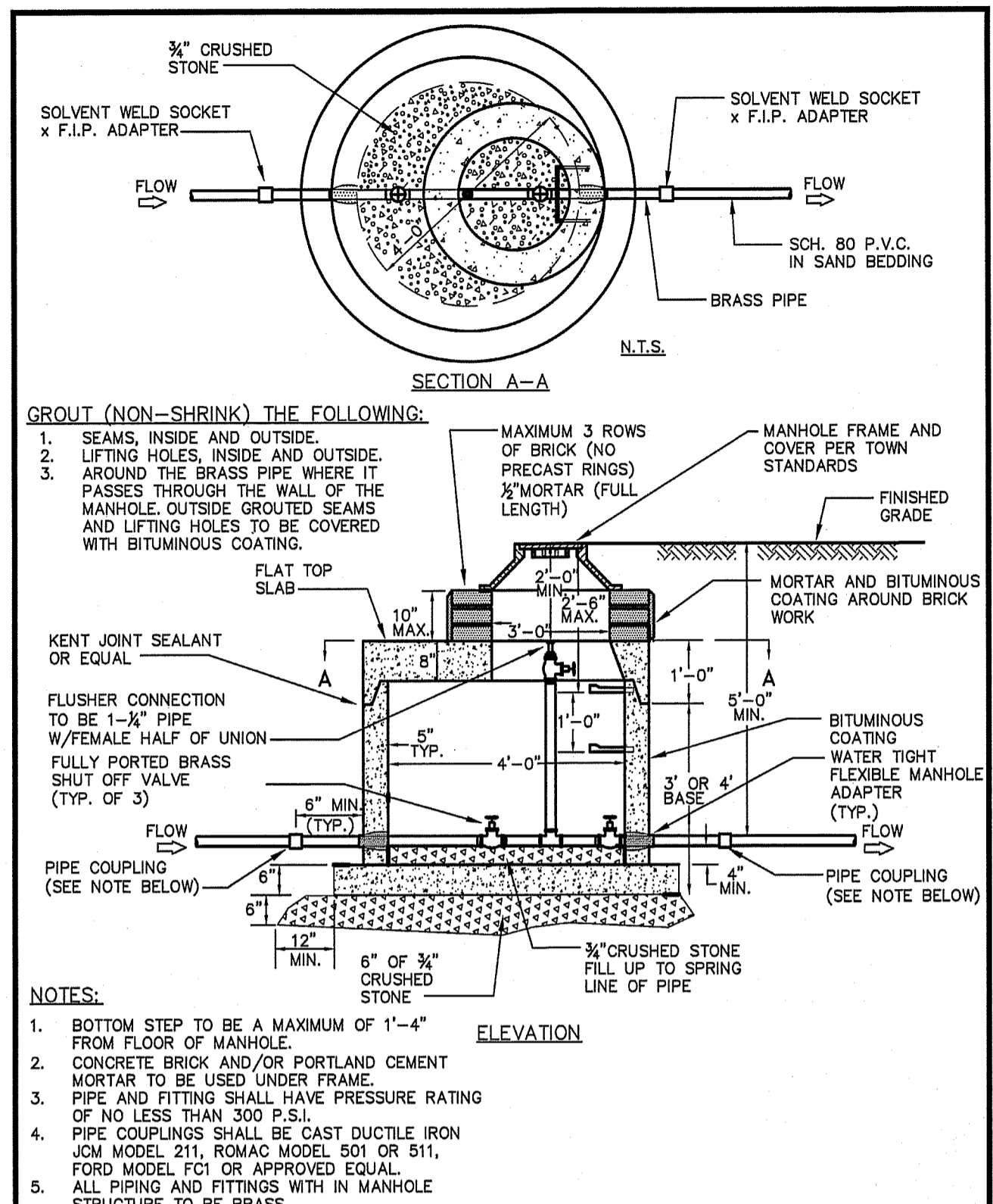
**RETAINING WALL PLAN & PROFILE**



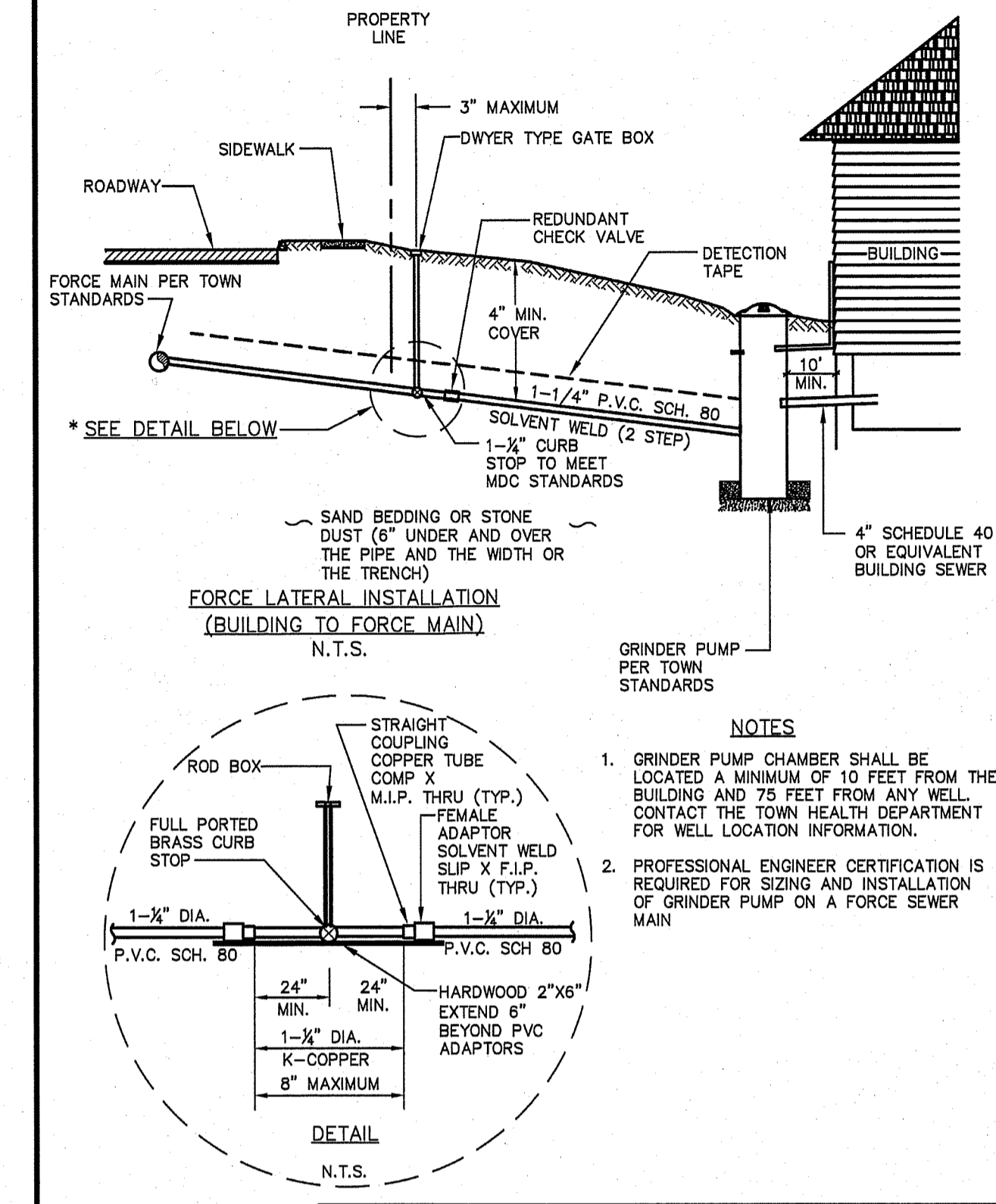
DEAD END MANHOLE FOR FORCED SEWER MAINS



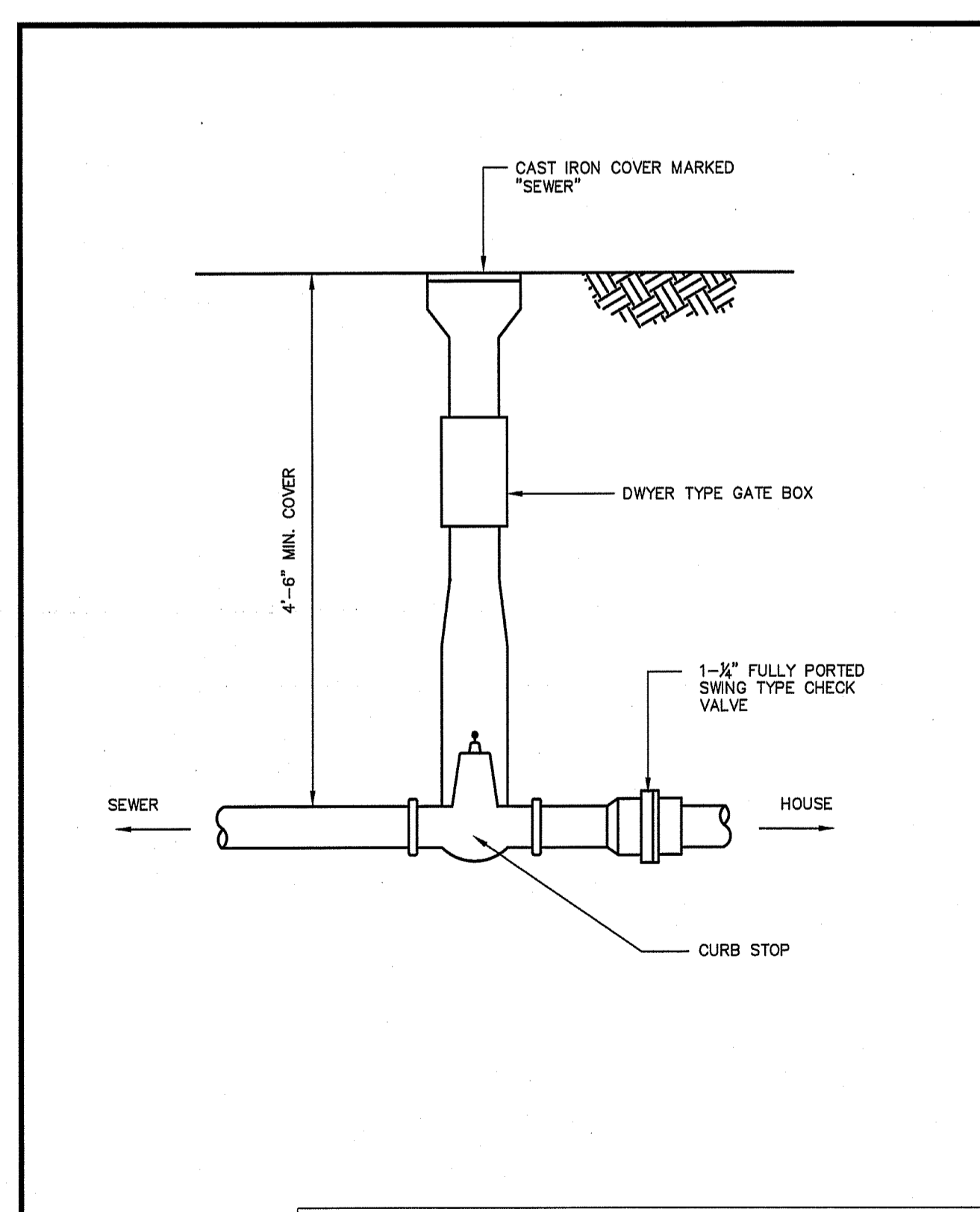
AIR RELEASE VALVE MANHOLE FOR FORCE SEWER MAINS



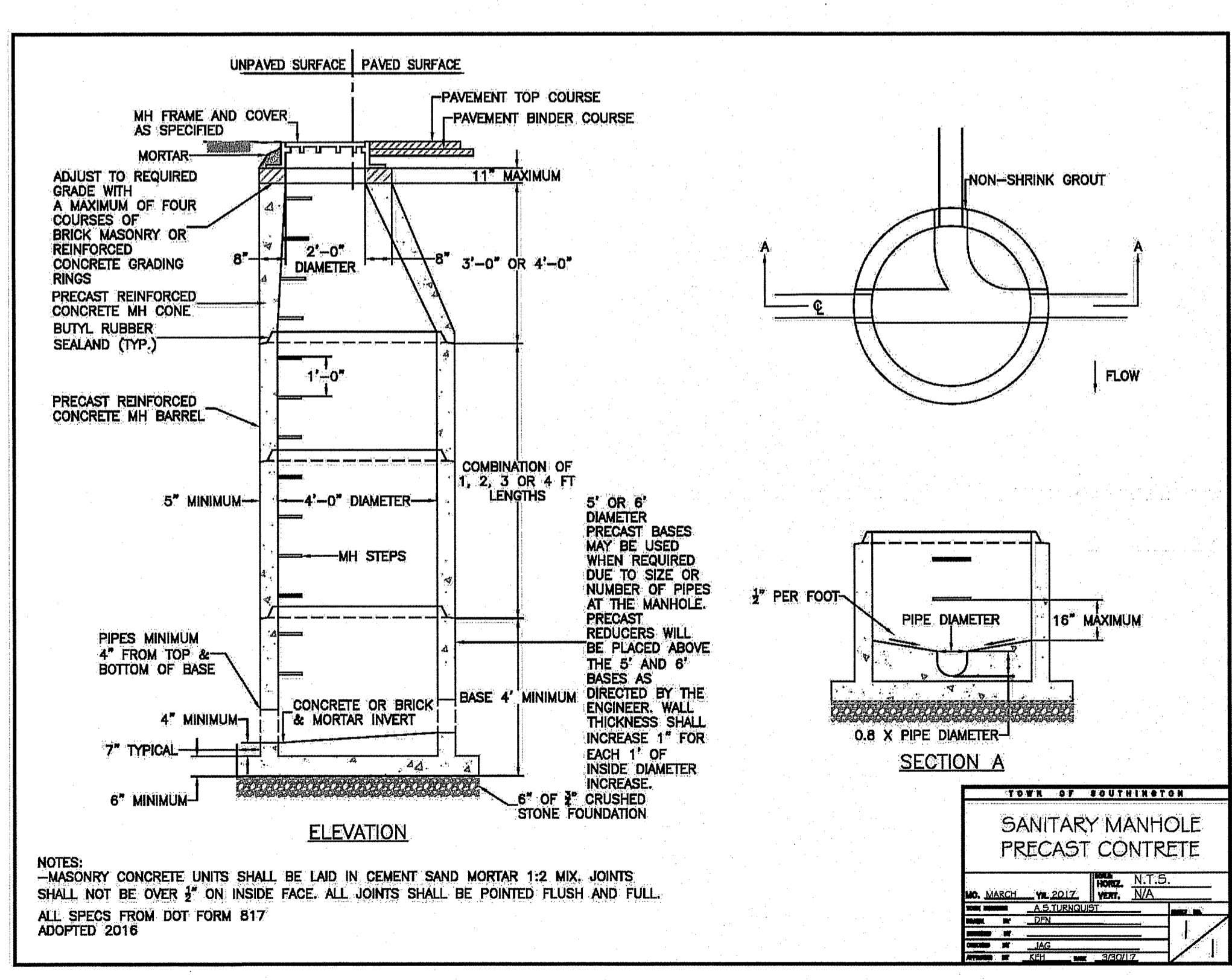
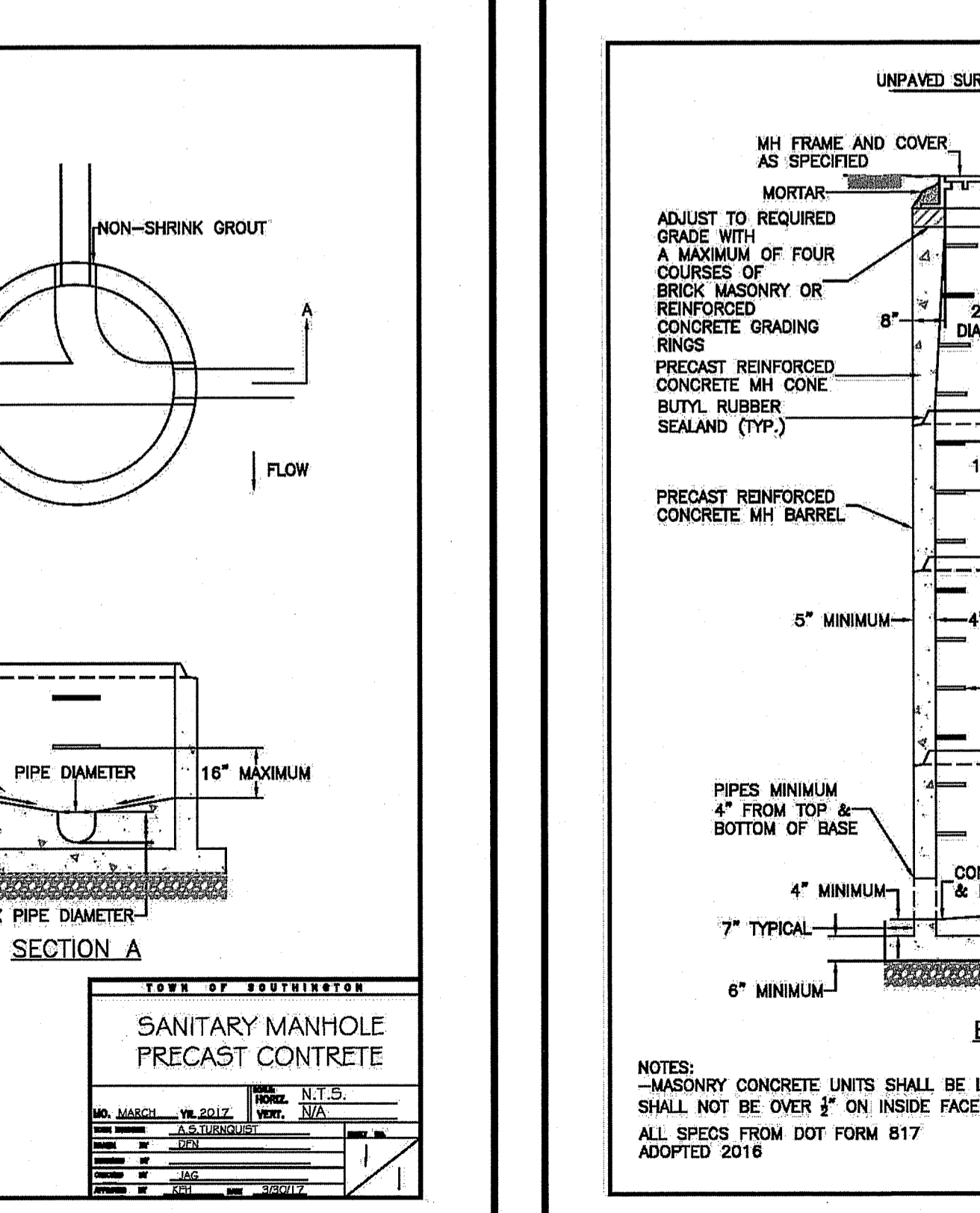
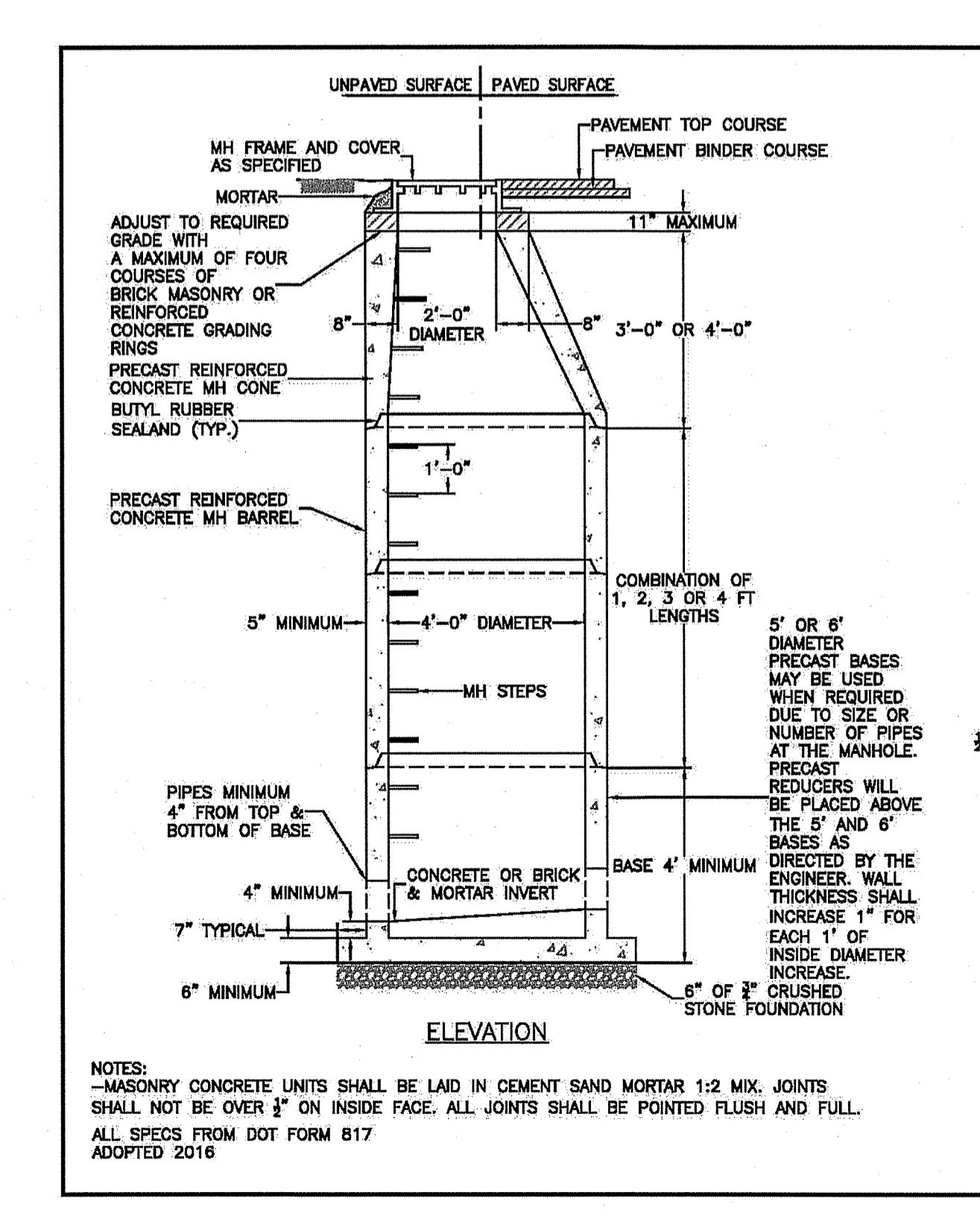
INLINE ACCESS MANHOLE FOR FORCE SEWER MAINS



FORCE LATERAL CONNECTION TO SEWER FORCE MAIN



TYPICAL SANITARY CURB BOX



HALLISEY, PEARSON & CASSIDY  
 CIVIL ENGINEERS & LAND SURVEYORS  
 630 MAIN STREET, UNIT #1A  
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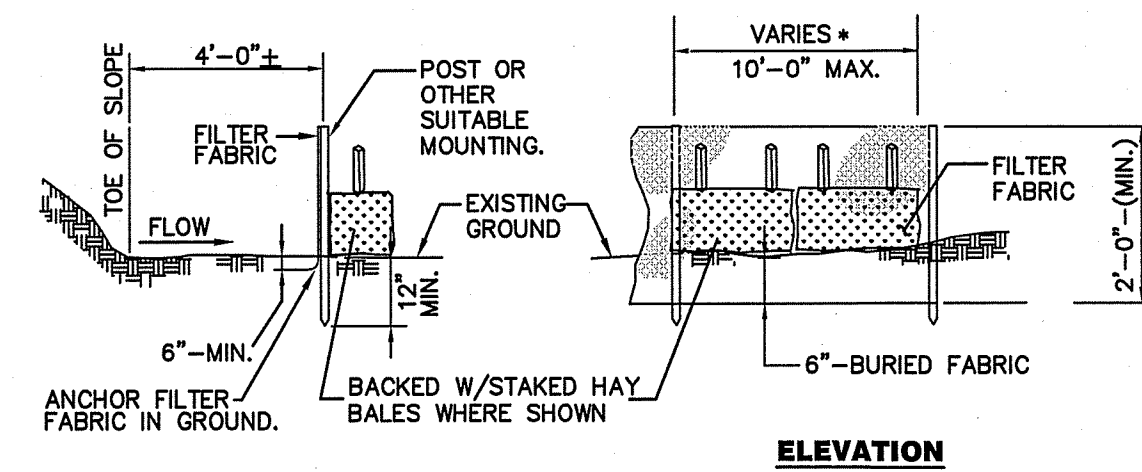
THE BONGIOVANNI GROUP, INC.  
 170 POPE ROAD  
 NEWINGTON, CT 06111  
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 FAX (860) 666-3530

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PENNY LANE SUBDIVISION  
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DETAILS



NOTE:  
\* POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURERS REQUIREMENTS.

**SILT FENCE**  
NO SCALE

**MAINTENANCE OF SILT FENCE**  
INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

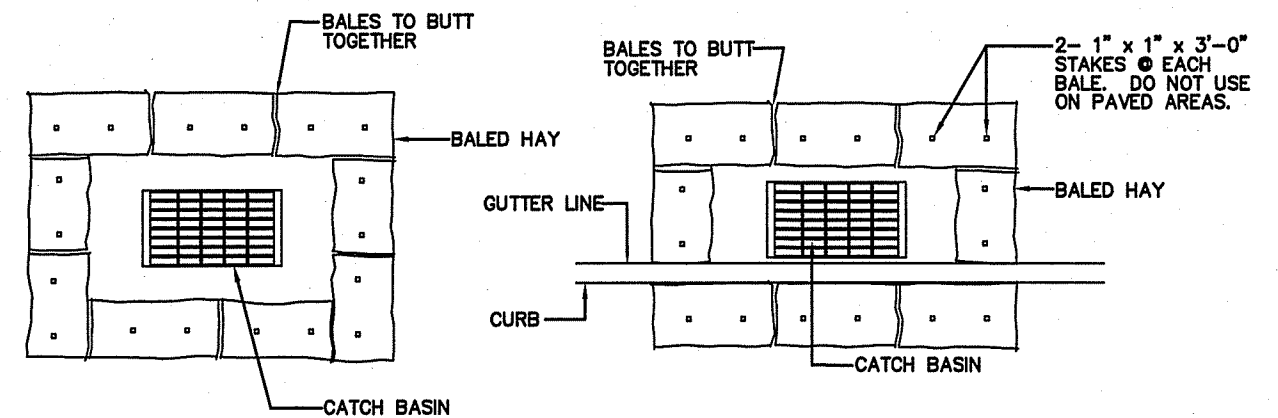
- (A) THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- (B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- (C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



**SEDIMENTATION CONTROL BALES**  
NO SCALE

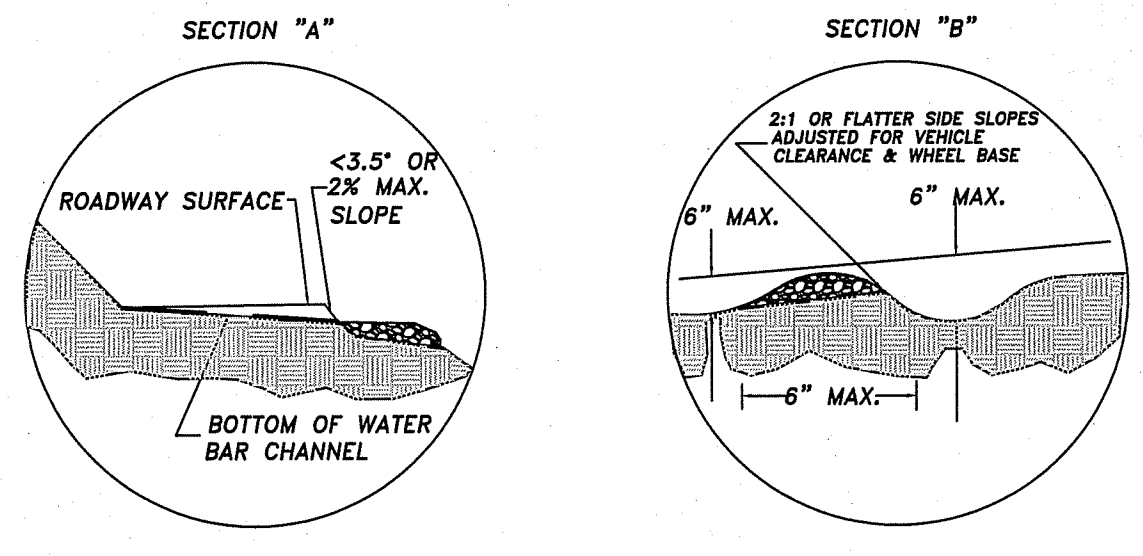
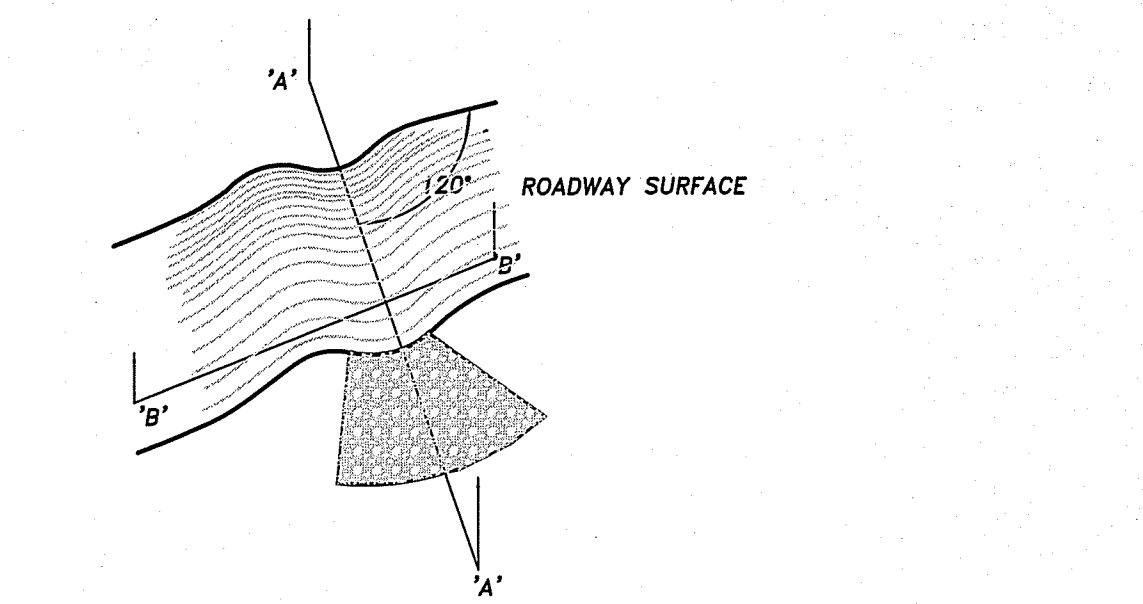
**MAINTENANCE OF HAY BAILE CHECK DAM**  
INSPECT THE HAY BAILE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS AND, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:

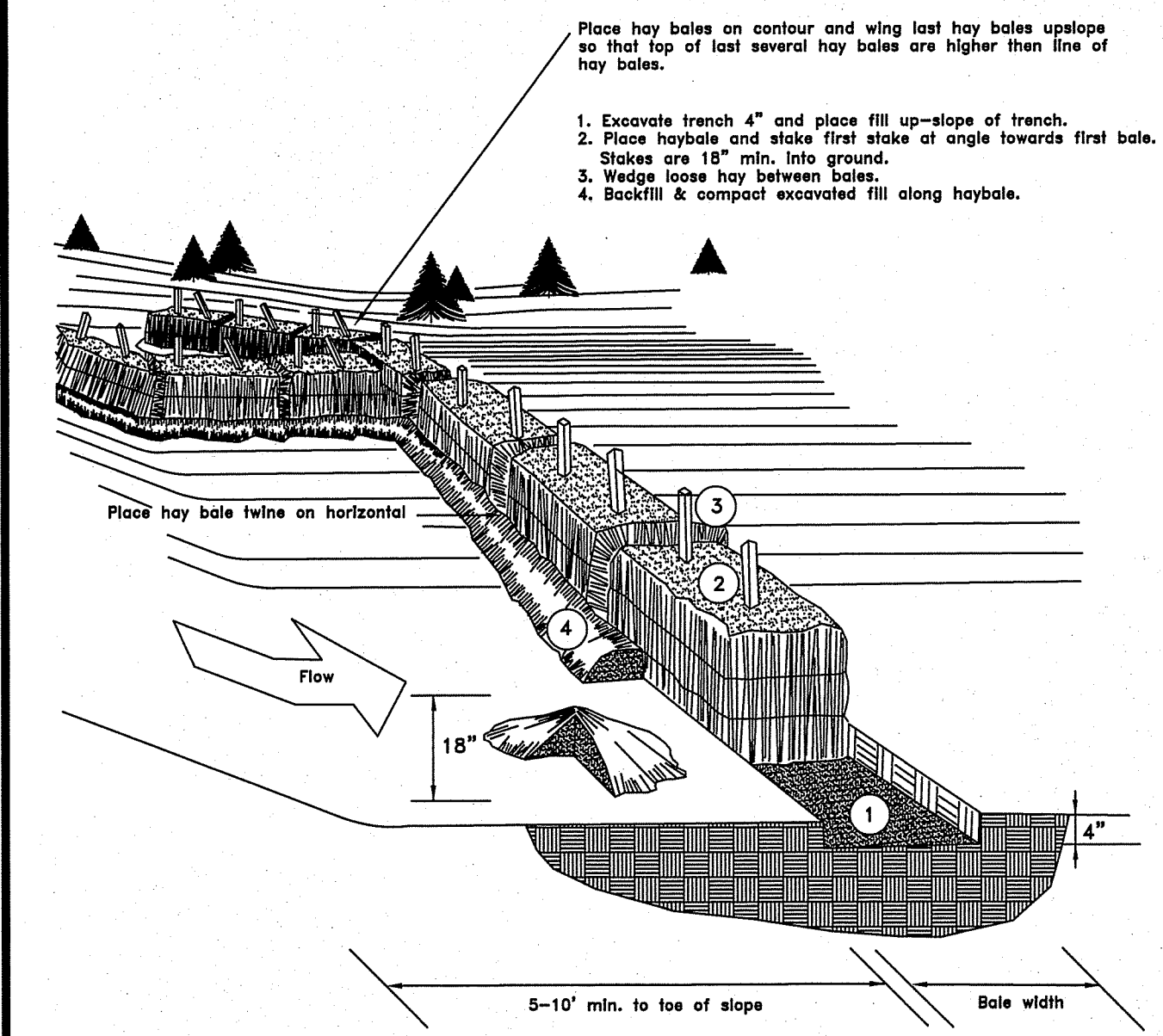
- A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.
- C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCURE AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATEOR REPLACE HAY BAILE BARRIER.

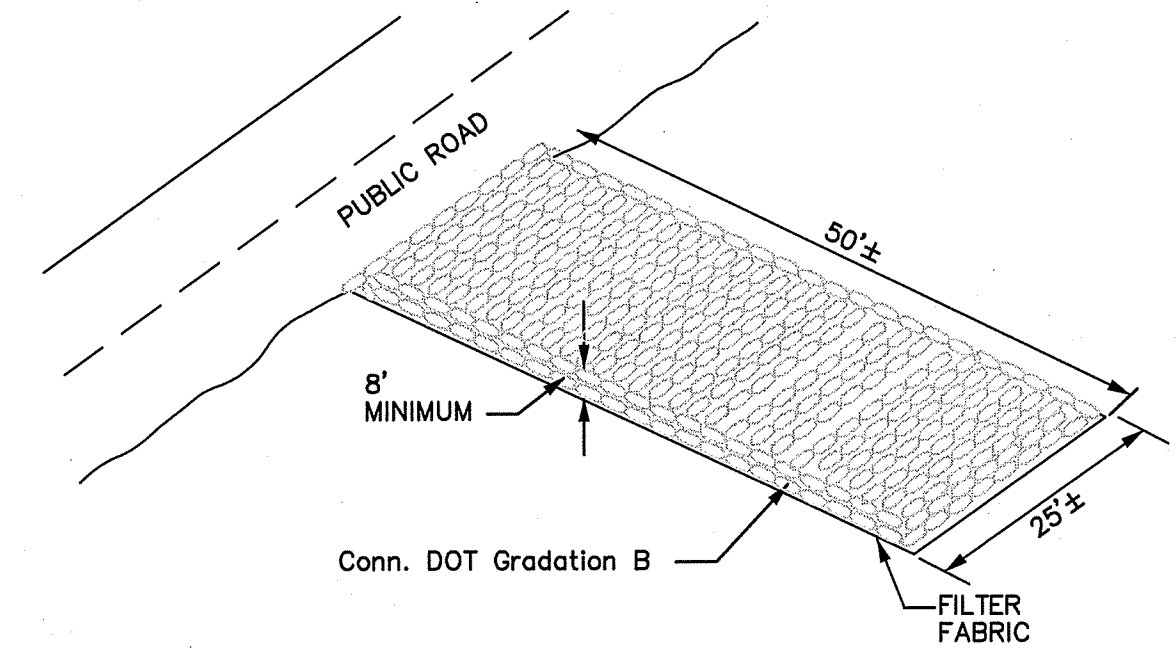
MAINTAIN HAY BAILE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



**WATER BAR DETAIL**  
(N.T.S.)



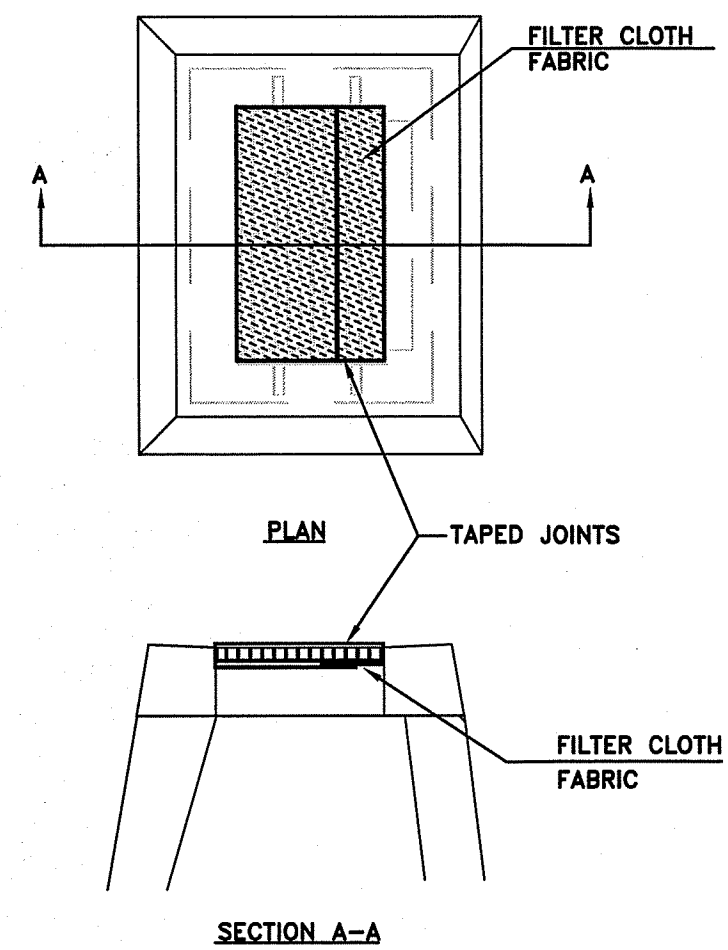
**STAKED HAY BALES**  
N.T.S.



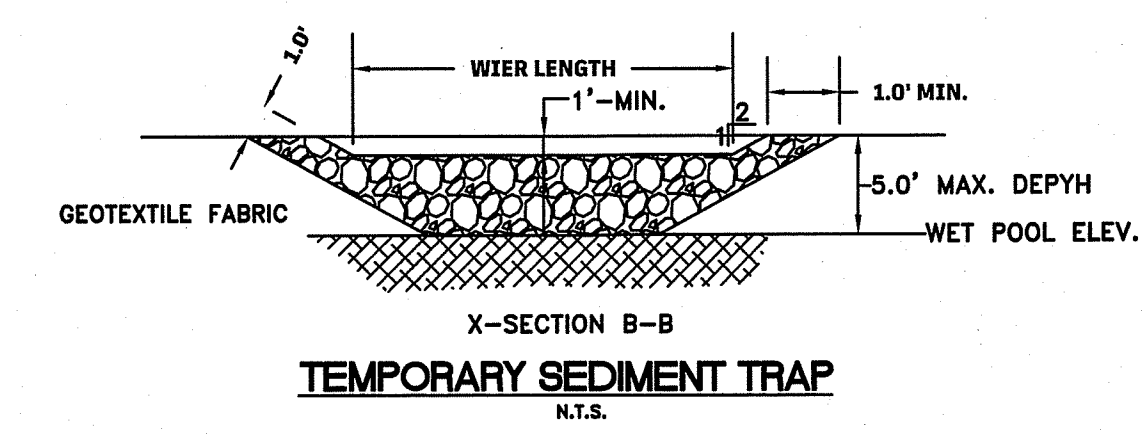
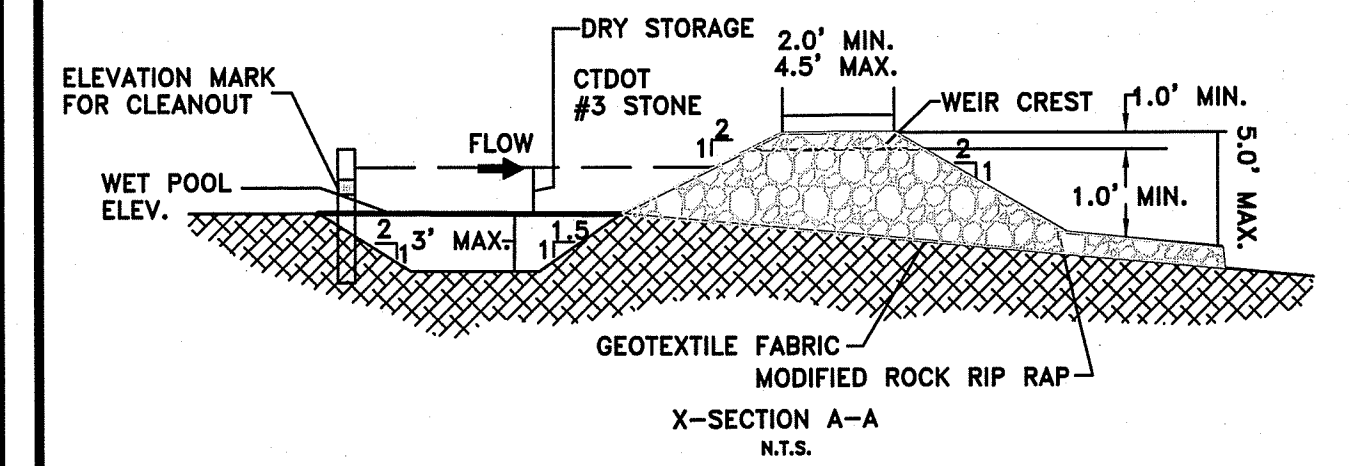
**CONSTRUCTION ENTRANCE**  
NO SCALE

**MAINTENANCE OF CONSTRUCTION ENTRANCE**  
MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY MEASURES USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.

IF THE CONSTRUCTION ENTRANCE IS BEING PROPERLY MAINTAINED AND THE ACTION OF VEHICLE TRAVELING OVER THE STONE PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE SEDIMENT, THEN EITHER (1) INCREASE THE LENGTH OF THE CONSTRUCTION ENTRANCE, (2) MODIFY THE CONSTRUCTION ACCESS ROAD SURFACE, OR (3) INSTALL WASHING RACKS AND ASSOCIATED SETTLING AREA OR SIMILAR DEVICES BEFORE THE VEHICLE ENTERS A PAVED AREA.



**FILTER FABRIC ENVELOPE**  
NOT TO SCALE



**TEMPORARY SEDIMENT TRAP**  
N.T.S.

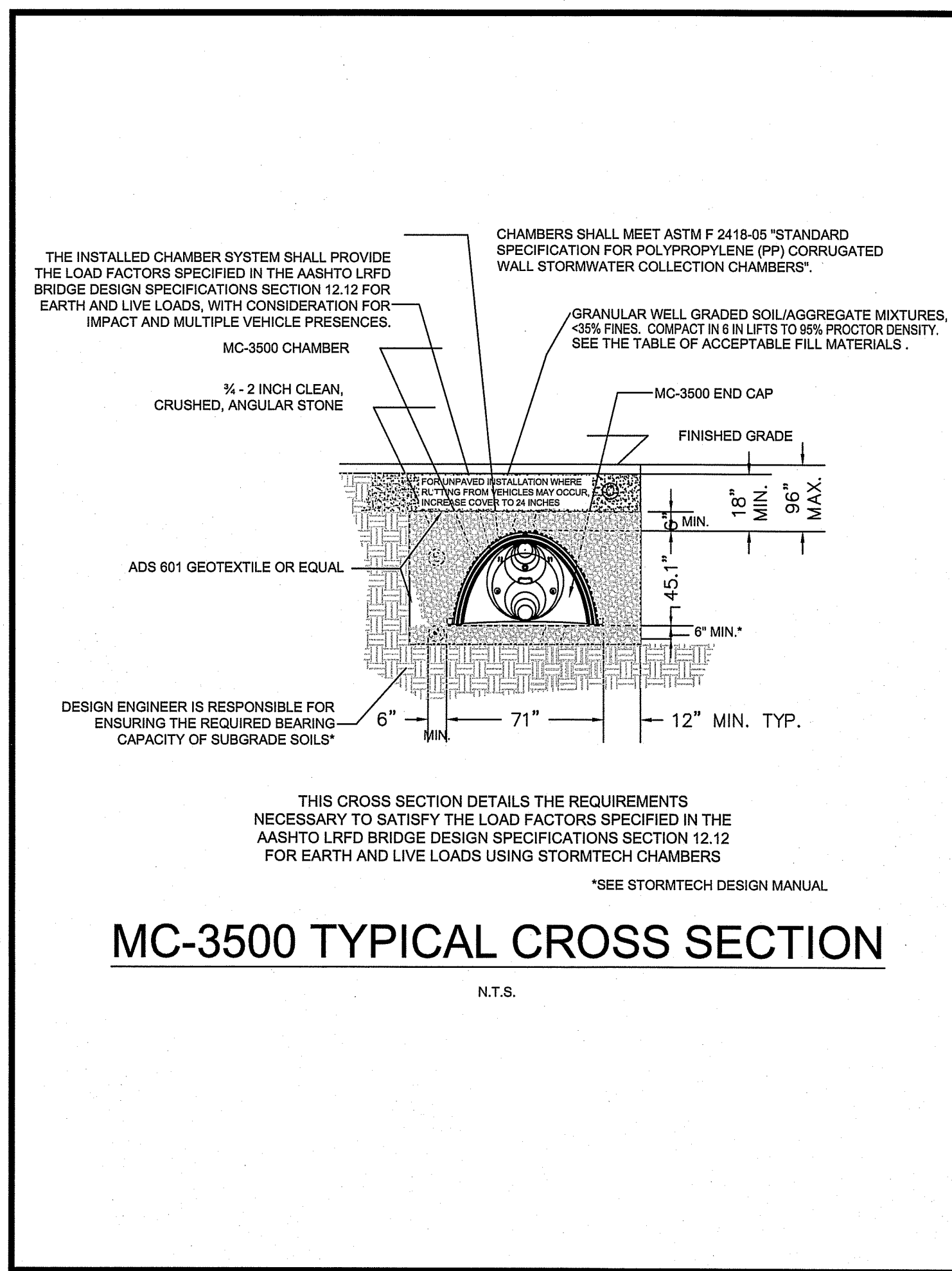
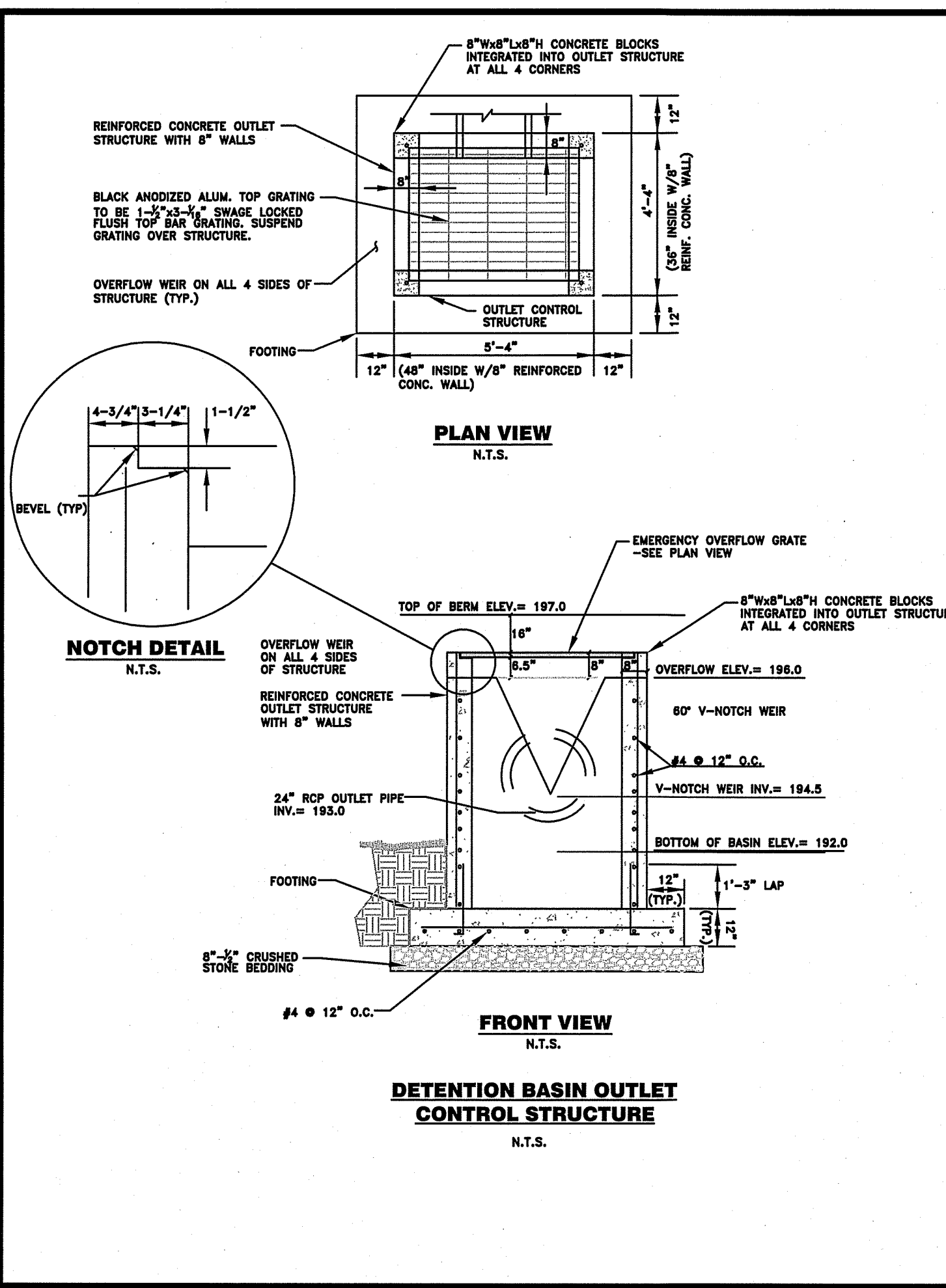
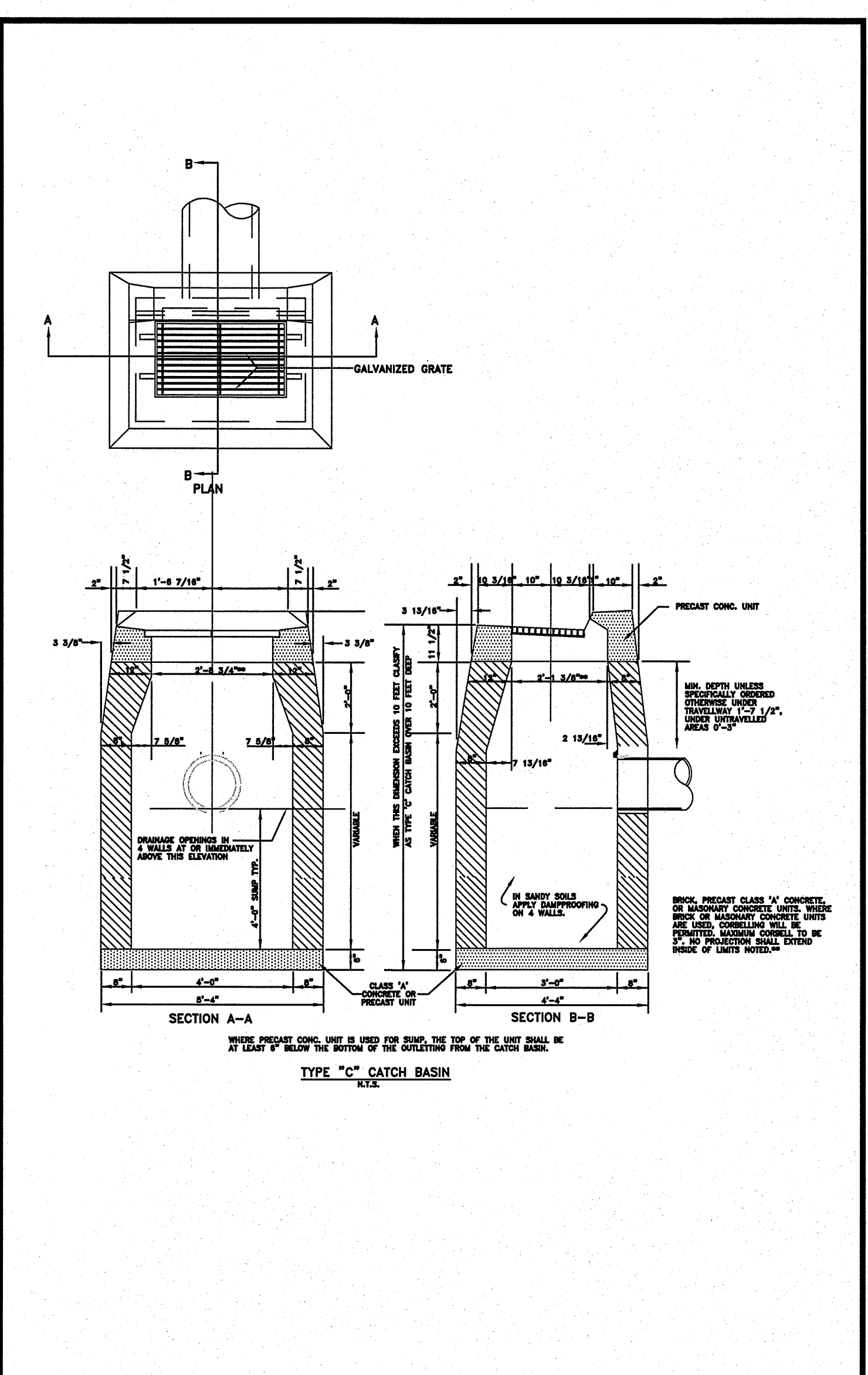
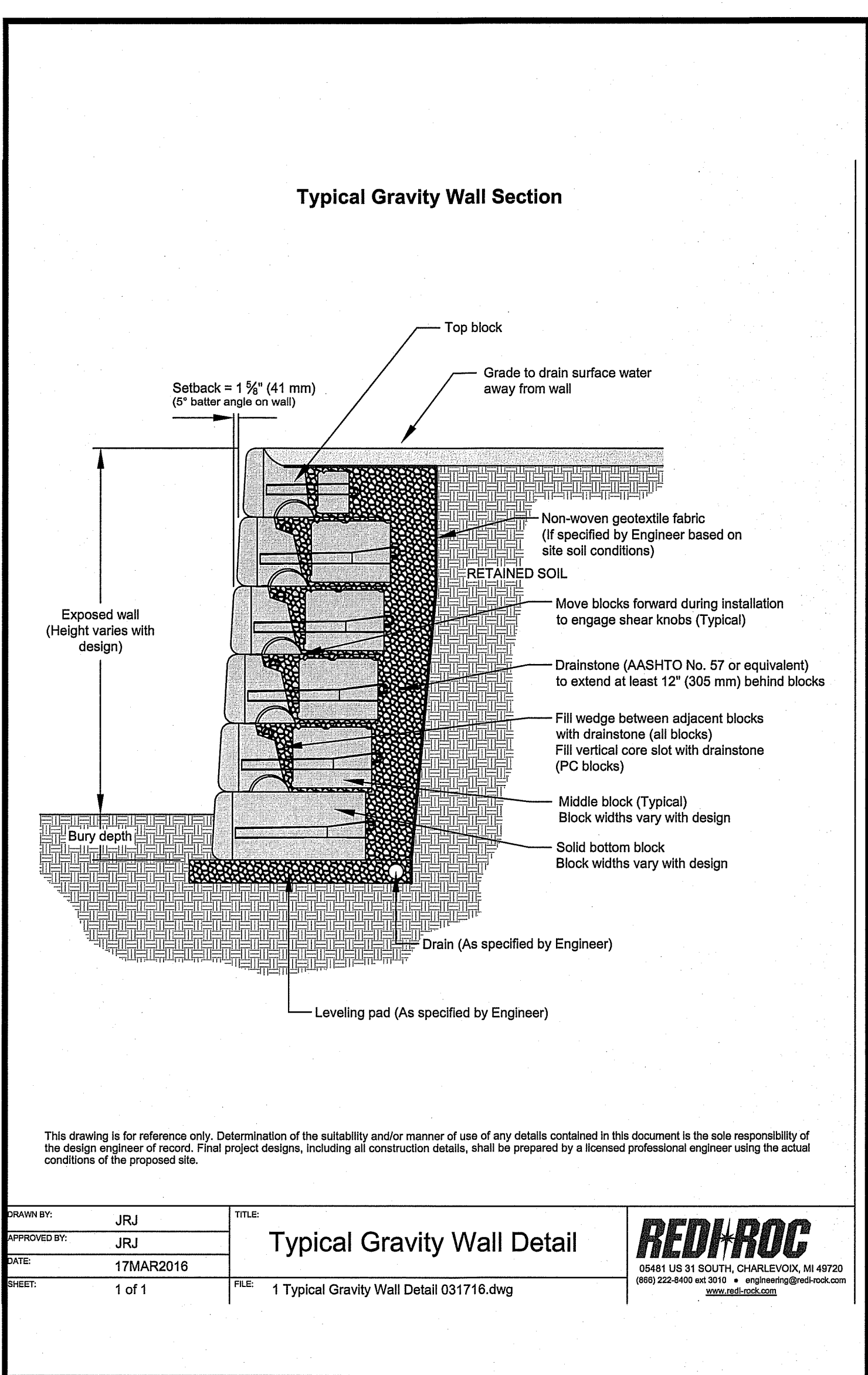
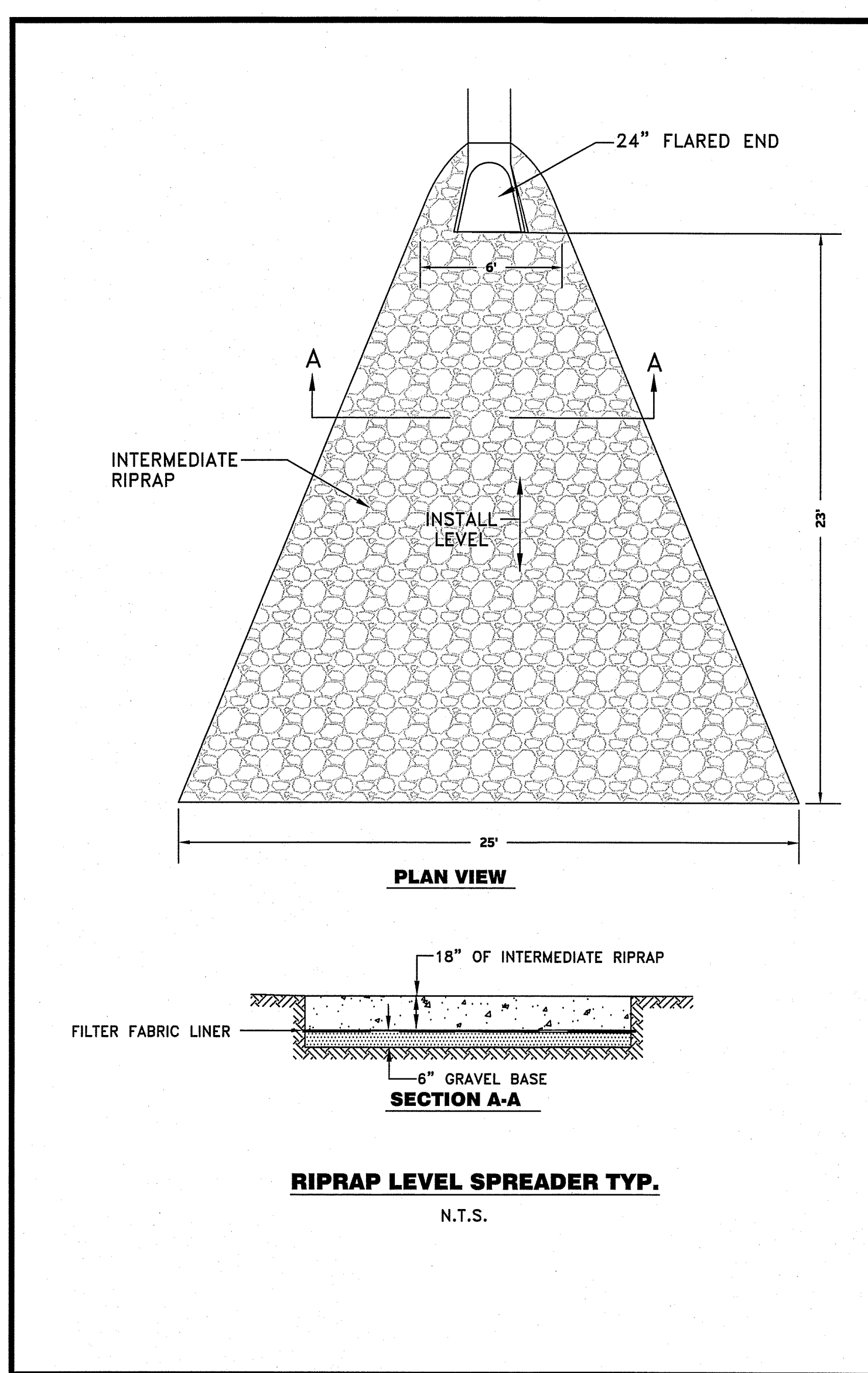
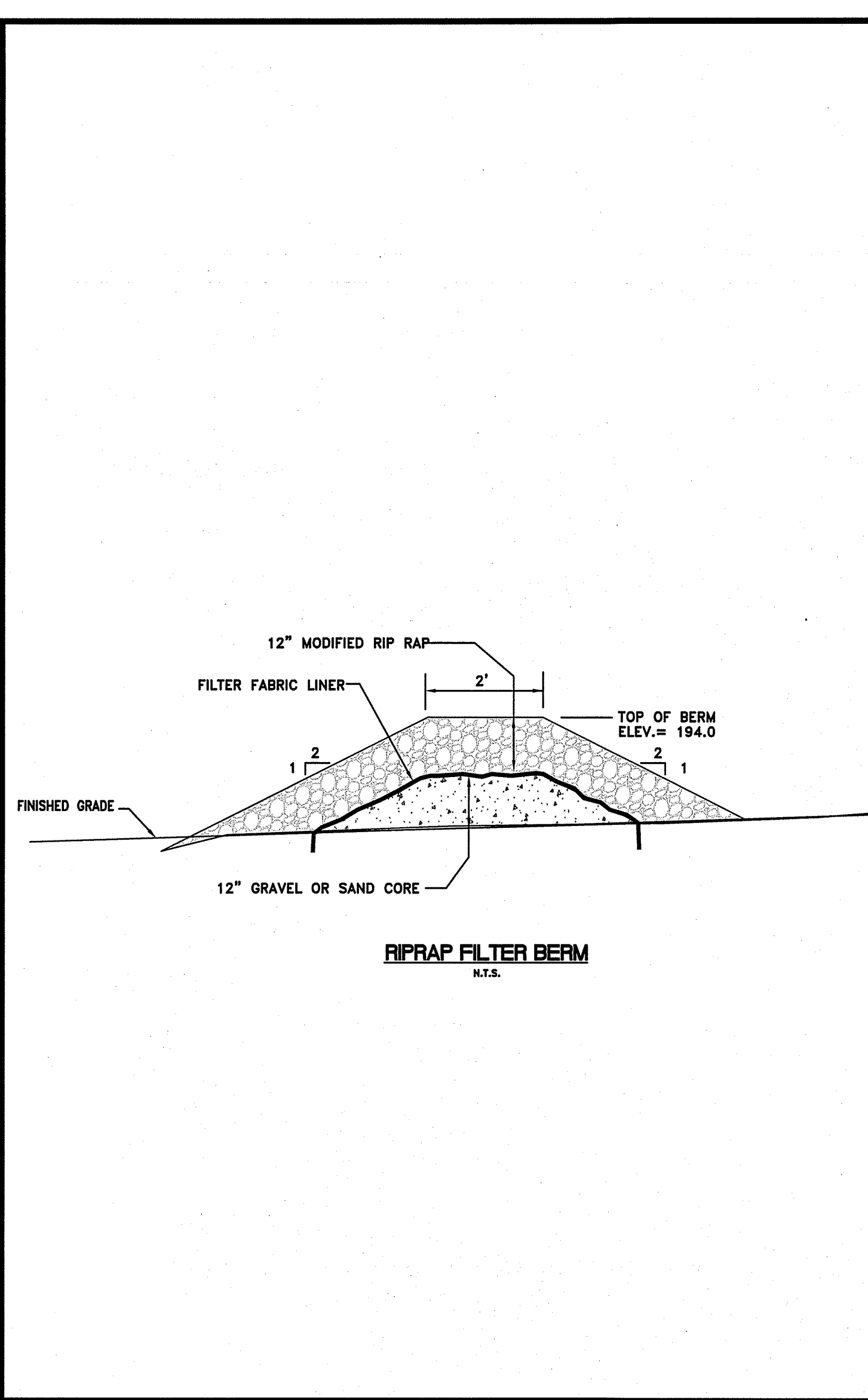
**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
600 MAIN STREET, UNIT #1A  
NEWINGTON, CT 06111  
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170 Point Road  
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347, 349 & 389 MARION AVENUE  
SOUTHINGTON, CONNECTICUT

DETAILS



**HALLISEY, PEARSON & CASSIDY**  
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LAND SURVEYORS  
NEWINGTON, CONN. 06111  
TEL: (860) 666-0134  
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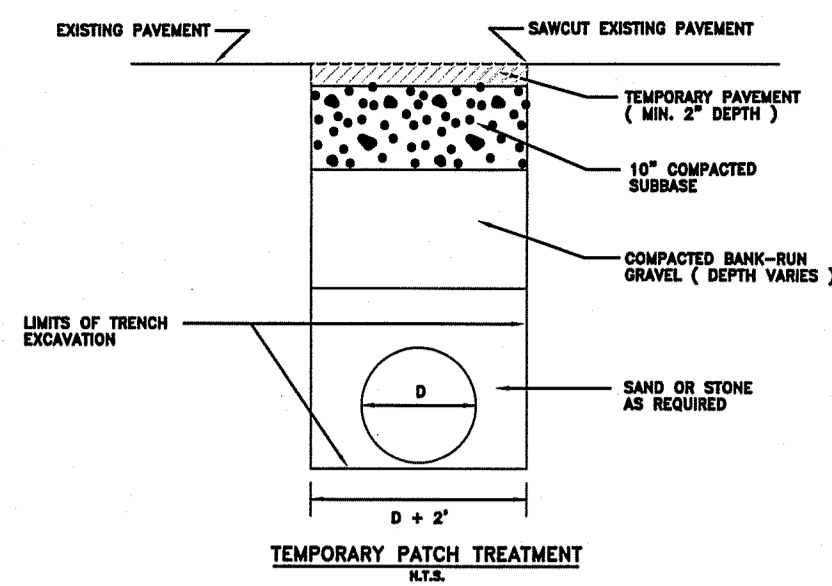
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Checked: AB	Revision: _____
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PENNY LANE SUBDIVISION  
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SOUTHINGTON, CONNECTICUT

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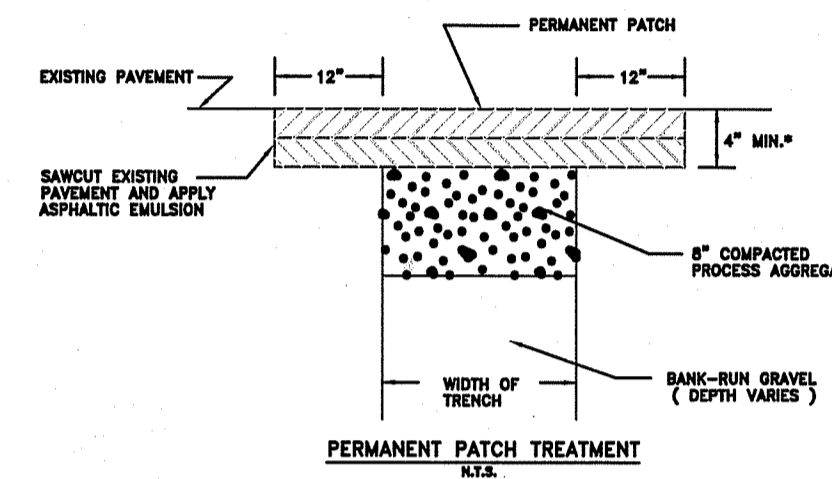
Sheet  
16 of 18





**TEMPORARY PATCH TREATMENT NOTES**

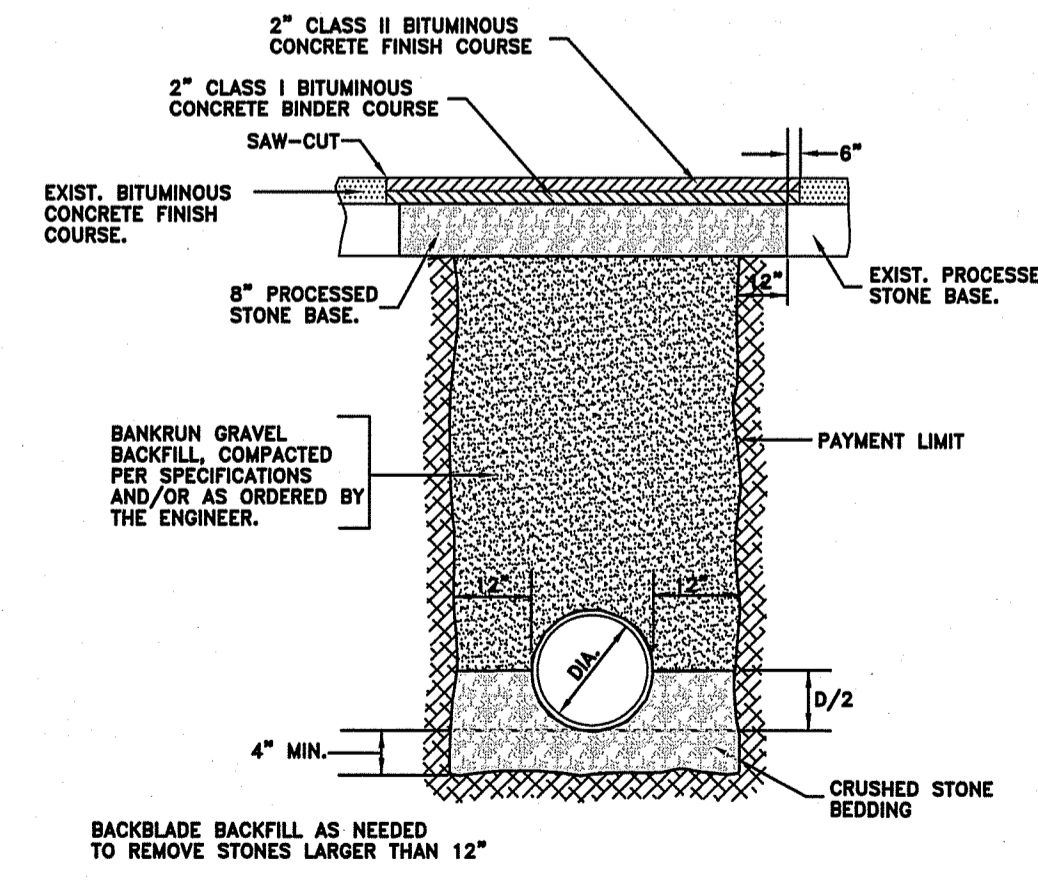
1. PAVEMENT - TEMPORARY HOT MIX BITUMINOUS CONCRETE PAVEMENT SHALL BE PLACED WITH A MINIMUM THICKNESS OF TWO (2) INCHES WITHIN TWENTY FOUR (24) HOURS OF EXCAVATION. EXCAVATION WILL BE ALLOWED ON FRIDAY UNLESS IT IS TO BE PAVED BY THE END OF THE WORK DAY. NO COLD PATCH WILL BE ALLOWED FOR ANY TEMPORARY REPAIR.
2. SUBBASE - THE EXCAVATED MATERIALS WILL BE ACCEPTABLE FOR USE AS SUBBASE MATERIAL IF APPROVED BY THE TOWN INSPECTOR. IF THE MATERIAL IS UNACCEPTABLE FOR (10) INCHES OF PROCESSED AGGREGATE STONE BASE COMPACTED IN TWO EQUAL LIFTS WILL BE REQUIRED.
3. NO PERMITS WILL BE ISSUED DURING THE PERIOD THAT THE BITUMINOUS PATCH PLANTS ARE CLOSED EXCEPT FOR EMERGENCY REPAIRS.
4. STEEL PLATES TO TEMPORARILY COVER EXCAVATIONS, MAY BE USED IF APPROVED BY THE TOWN INSPECTOR. PLATES MUST BE ANCHORED SECURELY TO THE SURROUNDING PAVEMENT AND RAMPED WITH BITUMINOUS CONCRETE. NO PLATES WILL BE ALLOWED BETWEEN NOVEMBER 15 AND APRIL 1.



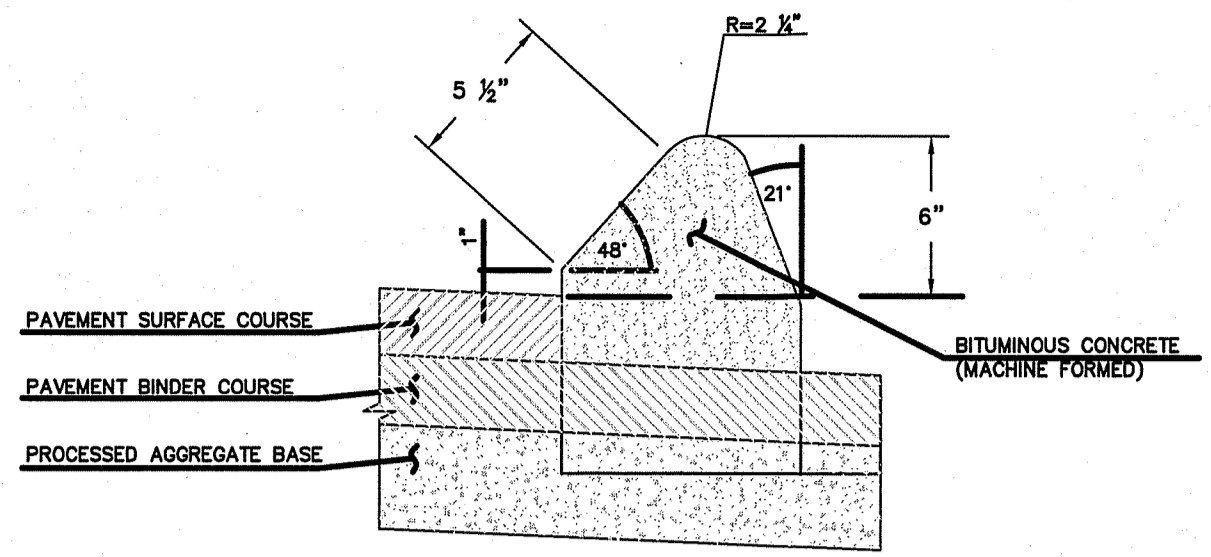
**PERMANENT PATCH TREATMENT NOTES**

- THE TEMPORARY PATCH SHALL BE REMOVED, THE EXISTING PAVEMENT CUT BACK A MINIMUM OF TWELVE (12) INCHES OR AS DIRECTED FROM THE TRENCH TO MAKE A NEAT CLEAN SQUARE JOINT WHICH WILL OVERLAP THE ORIGINAL SUBGRADE.
- A MINIMUM TWENTY FOUR (24) HOUR CURE SHALL BE MAINTAINED. CARE MUST BE TAKEN TO COMPACT ALL LAYER STONES AND UNIFORM MATERIAL. THE AREA HAS BEHIND-THE-SCENES COMPLETION. AN ASPHALTIC EMULSION, CONFORMING TO REQUIREMENTS OF AASHTO M 282, GRADE MP-2, SHALL BE APPLIED IN THE FOLLOWING MANNER:
1. THE EMULSION SHALL BE APPLIED TO THE CLEAN, DRY EDGES OF THE EXISTING PAVEMENT PRIOR TO THE PLACING OF THE FIRST COURSE OF BITUMINOUS CONCRETE.
  2. AFTER THE FIRST COURSE OF BITUMINOUS CONCRETE HAS BEEN PLACED AND COMPACTED, AN ASPHALTIC EMULSION SHALL BE APPLIED TO THE EDGES OF THE PATCH AND THE EXISTING PAVEMENT. THIS STEP SHALL BE REPEATED FOR EACH LIFT REQUIRED TO BRING THE PATCH UP TO THE LEVEL OF THE EXISTING PAVEMENT.
  3. A FINAL APPLICATION OF EMULSION SHALL BE APPLIED TO THE JOINT BETWEEN THE PATCH AND THE EXISTING PAVEMENT SURFACE. THE EMULSION SHALL BE APPLIED SO THAT THE APPROXIMATELY TWO INCHES AND FOUR INCHES ARE ON THE EXISTING PAVEMENT AND PATCH RESPECTIVELY.
- A HOT BITUMINOUS CONCRETE MIX (CLASS 2 - B.C.T. SPEC 1) SHALL BE PLACED IN TWO (2) INCH LIFTS. THE FINAL LIFT SHALL BE FIRM WITH THE EXISTING PAVEMENT AND CROSS ROLLED IN ADDITION TO THE NORMAL ROLLING.
- \* NOTE: THE FOUR (4) INCH DEPTH IS THE MINIMUM DEPTH. IF THE ORIGINAL PAVEMENT IS THICKER THAN FOUR (4) INCHES, THE MINIMUM DEPTH SHALL BE INCREASED TO THE DEPTH OF THE EXISTING PAVEMENT.
- EXAMPLE: ONE (1) INCH DEPTH WOULD REQUIRE A NINE (9) INCH PERMANENT PATCH.
- PENALTY**
- FAILURE OF THE PERMITTEE TO COMPLY WITH THE ABOVE REGULATIONS WILL MAKE HIM SUBJECT TO A SUSPENSION OF ANY FURTHER PERMITS IN THE TOWN OF SOUTHINGTON. IF THE COMPLETED WORK IS UNSATISFACTORY TO THE TOWN ENGINEER AND/OR THE DIRECTOR OF PUBLIC WORKS, THE CONTRACTOR SHALL BE NOTIFIED BY REGISTERED MAIL, ALLOWING HIM THE TIME TO MAKE CORRECTIVE WORK. IF THE PERMITTEE DOES NOT REPAIR THE WORK OF SOUTHINGTON SHALL MAKE THE NECESSARY REPAIR AND BILL THE CONTRACTOR FOR THE COST OF THE SAME.

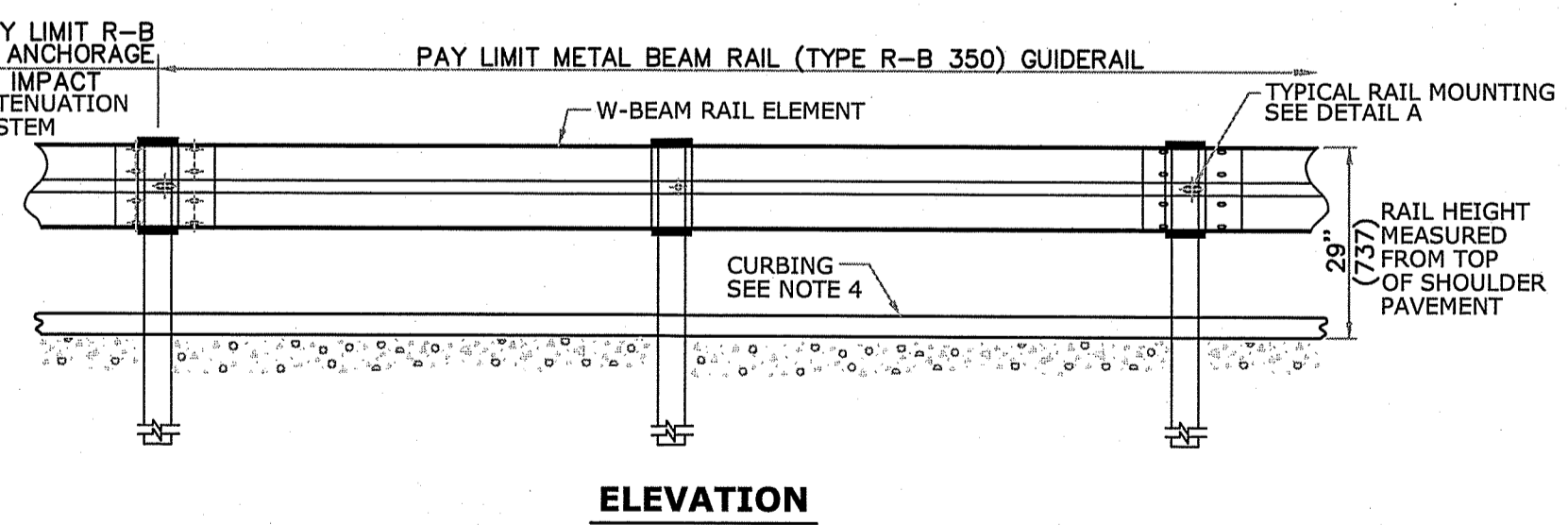
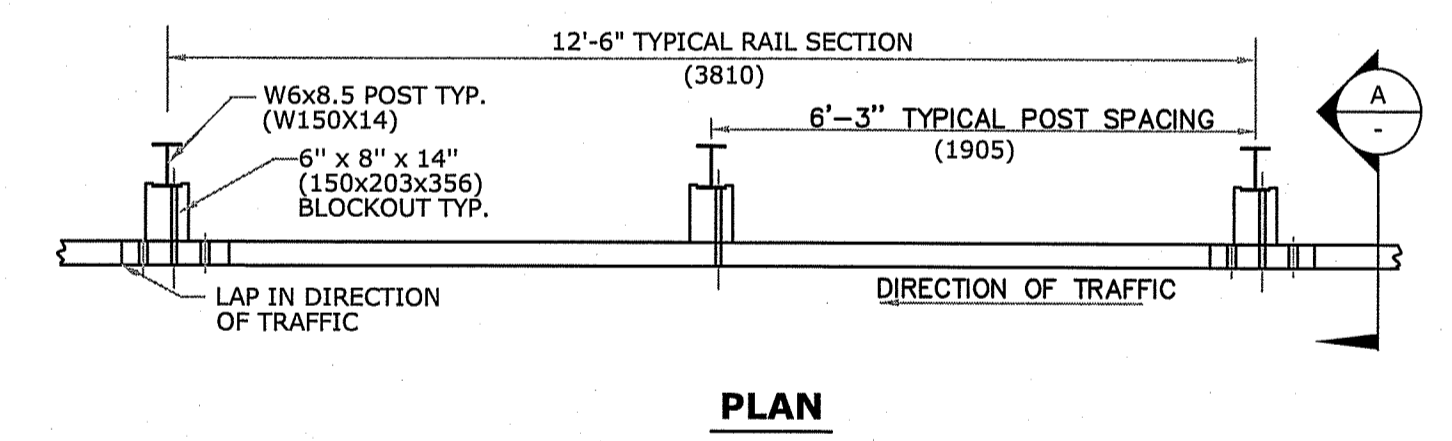
**TYPICAL STORM TRENCH CROSS SECTION**  
NOT TO SCALE



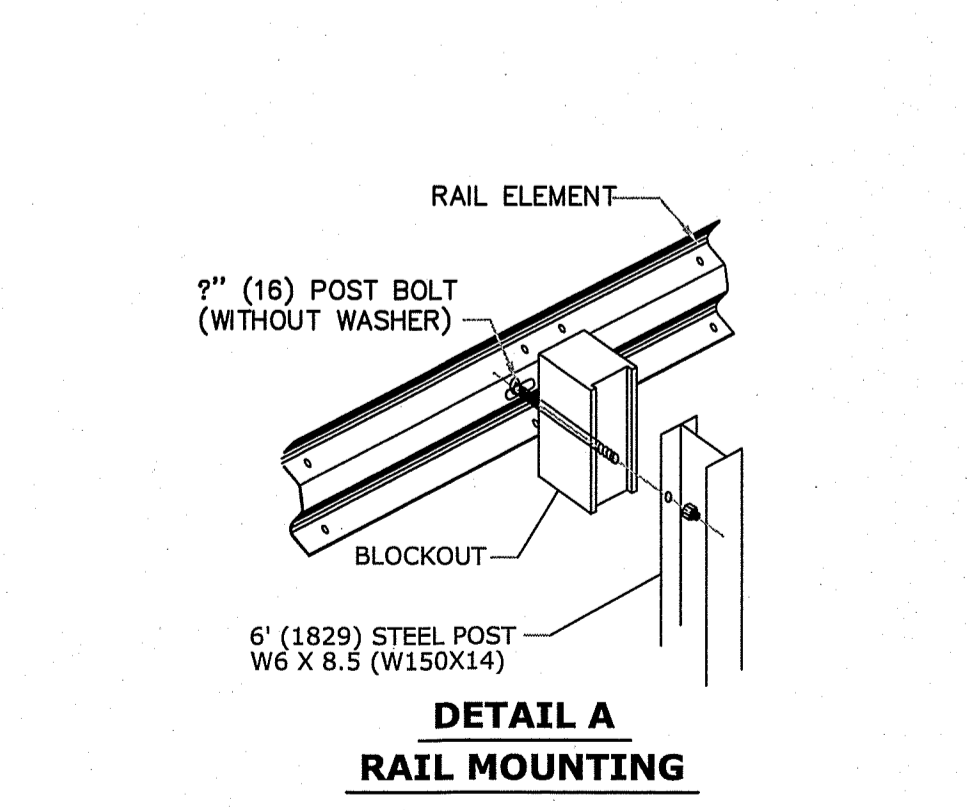
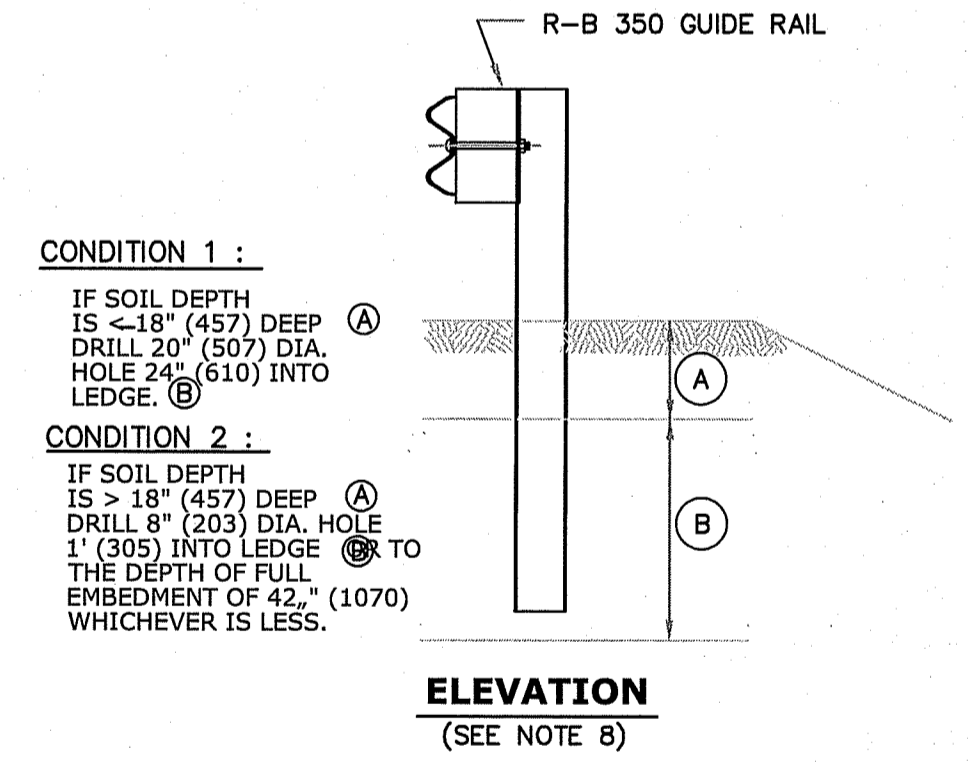
- NOTES:
- 1) USE OF BITUMINOUS CURBING REQUIRES APPROVAL OF THE CITY ENGINEER.
  - 2) BITUMINOUS CURBING IN CONJUNCTION WITH NEW CONSTRUCTION OR MILLING/OVERLAY SHALL BE PLACED ON BINDER COURSE, UNLESS AN ALTERNATIVE IS APPROVED BY THE TOWN ENGINEER.



**BIT. CONCRETE LIP CURBING**  
N.T.S.



**METAL BEAM RAIL (TYPE R-B 350)**



**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
CROMWELL, CONNECTICUT 06116  
PHONE: (860) 252-8812, FAX: (860) 721-7709

**BGI**  
THE BONGIOVANNI GROUP, INC.  
LAND SURVEYORS  
Newington, Conn. 06111  
TEL: (860) 666-0334  
FAX: (860) 666-9330

Date: 6-27-22	Scale: AS SHOWN	Check: AB	Date
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PENNY LANE SUBDIVISION  
PREPARED FOR  
LEPAGE HOMES, INC.  
347, 349 & 389 MARION AVENUE  
SOUTHINGTON, CONNECTICUT

DETAILS

Date: 6-27-22	Scale: AS SHOWN	Checked: AB	Date
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DETAILS

