

LOCAL UTILITY PROVIDERS

1.

SOUTHINGTON WATER DEPT.
WEST QUEEN STREET, P.O. BOX 111
SOUTHINGTON, CT. 06489-0111
(860) 628-5593
(860) 621-0491
2.

SOUTHINGTON/PLAINVILLE HEALTH DEPT.
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
(860) 276-6275
(860) 276-6277
3.

EVERSOURCE ELECTRIC
(203) 352-5412
4.

EVERSOURCE GAS
(203) 596-3071
5.

SOUTHERN NEW ENGLAND TELEPHONE
(860) 725-1010
(860) 549-1100
6.

SOUTHINGTON FIRE DEPARTMENT
310 NORTH MAIN STREET
SOUTHINGTON, CT 06489
(860) 621-3202
(860) 628-4049
7.

SOUTHINGTON HIGHWAY DEPT.
DELLABITTA DRIVE
SOUTHINGTON, CT. 06489
(860) 276-9430
(860) 276-9101
8.

TOWN ENGINEER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6231
FAX: (860) 628-8669
9.

TOWN PLANNER
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6248
FAX: (860) 628-8669
10.

TOWN BUILDING DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6242
FAX: (860) 628-8669
11.

TOWN SEWER DEPARTMENT
JOHN WEICHSEL MUNICIPAL CENTER
196 N. MAIN STREET
SOUTHINGTON, CT 06489
PHONE: (860) 276-6233
FAX: (860) 628-8669
12.

POLICE DEPARTMENT
69 LAZY LANE
SOUTHINGTON, CT 06489
PHONE: (860) 621-0103

STATE INFORMATION

1.

CONNECTICUT HIGHWAY DEPT.
OFFICE OF SPECIAL SERVICES & PERMITS
1107 CROMWELL AVENUE
ROCKY HILL, CT 06067
(860) 258-4541
2.

STATE D.E.P.
79 ELM STREET
HARTFORD, CT 06106
(860) 424-3245

MISCELLANEOUS

1.

CALL BEFORE YOU DIG
(800) 922-4455

SITE PLANS PREPARED FOR

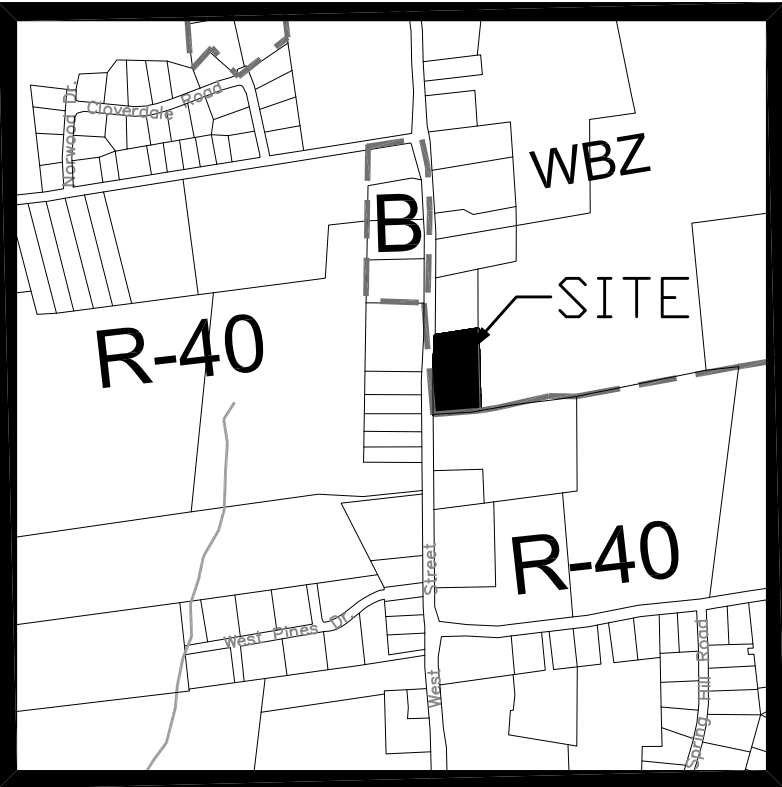
CAVA RESTAURANT

OWNER: ELENI REAL ESTATE LLC



LIST OF DRAWINGS

C-1	COVER SHEET	N.T.S.
B-1	EXISTING CONDITIONS & DEMOLITION PLAN	20 SCALE
L-1	LAYOUT & LANDSCAPING PLAN	20 SCALE
G-1	GRADING & EROSION CONTROL PLAN	20 SCALE
D-1	STANDARD SITE DETAILS	N.T.S.
D-2	EROSION & SEDIMENTATION CONTROL DETAILS	N.T.S.



KEY MAP SCALE: 1"=1000'

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.
1755 MERIDEN-WATERBURY RD.
P.O. BOX 337
MILDDALE, CT 06467
TEL. (860) 621-3638
FAX (860) 621-9609
EMAIL: info@kratzertjones.com
www.kratzertjones.com



Disclaimer:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-4:
REVISION-3:
REVISION-2:
REVISION-1:
PROJECT:

DB: MPT	SR: ---	DR: ---
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kratzert, **KJA**
jones &
associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILDDALE, CT 06467-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM.COM

COVER SHEET

for
ELENI REAL ESTATE LLC

#1615 WEST STREET
SOUTHINGTON, CT

SCALE: N.T.S.
DATE: MARCH 19, 2020

HALF	ONE INCH	TWO INCH
INCHES ON ORIGINAL		

KJA FILE NO. :
43-45

DRAWING NO. :
C-1

MAY 20/2020 11:46am
LAYOUT: C-1 DATE: Sep 07, 2020 - 11:46am

NOTES:

1. PARCEL OWNER: ELENi REAL ESTATE LLC
2. AREA: SEE MAP
3. ADDRESS: #1615 WEST STREET
4. ZONE: WBZ (SEE ZONING TABLE)
5. SITE IS SERVICED BY PUBLIC WATER & PUBLIC SEWER.
6. CONTOUR INTERVAL = 2'
7. ELEVATIONS BASED ON MAP REFERENCE #3
8. TOPOGRAPHY IS FROM FIELD SURVEY.
9. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

ZONING TABLE		
ZONE	WBZ	REQUIRED
LOT AREA		2.5 ACRES
LOT COVERAGE		40%
FRONT YARD SETBACK		75'
SIDE YARD SETBACK		25'
REAR YARD SETBACK		10'
LOT FRONTAGE		400'

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KEY MAP SCALE: 1"=1000'

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REVISION:		
REVISION:		
REVISION:		
REVISION:		
REVISION:		
PROJECT:	207105	
DB:	SR:	DR:
MPT	SZ/DH	SB

SURVEY NOTES:
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION IS BASED UPON: A RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2 & 1-2

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sokolchick
CT P.E. & L.S. #11302

kratzer, **KJA**
jones &
associates, inc.

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EXISTING
CONDITIONS
&
DEMOLITION PLAN

FOR

ELENI REAL
ESTATE LLC

#1615 WEST STREET
SOUTHINGTON, CT

SCALE: 1" = 20'

DATE: MARCH 19, 2020

HALF ONE INCH TWO INCH
INCHES ON ORIGINAL

KJA FILE NO.:

DRAWING NO.:

43-45

E-1

MAP REFERENCES:

- 1) "SITE PLAN FOR ALESSANDRO'S RESTAURANT; #1615 WEST ST. SOUTHINGTON, CT"; SCALE: 1"=20'; DATE: MARCH 13, 1984, LAST REVISED MAY 20, 2003; BY KRATZERT & JONES; KJA MAP NO. 43-45.
- 2) "WEST STREET SANITARY SEWER PROJECT PLAN & PROFILE; WEST STREET SOUTHINGTON, CONNECTICUT"; DATE: DEC. 2005, LAST REVISED 6-01-06; SCALE: HORIZ. 1"=40', VERT. 1"=4'; BY TOWN OF SOUTHINGTON ENGINEERING DEPARTMENT & CONKLIN & SOROKA, INC.; SHEET 3 OF 5.
- 3) "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTHINGTON WEST STREET AND MIDDLE STREET FROM THE YANKEE EXPRESSWAY NORTHERLY TO THE BRISTOL TOWN LINE"; DATE: MAY 14, 1991; SCALE: 1"=40'; NUMBER: 131-19; SHEET NO.: 3 OF 5; PREPARED BY JOHN D. CONKLIN.
- 4) "LOT LINE REVISION MAP FOR SEPKO FARM LLC & ELENI REAL ESTATE LLC #1601, #1615 & #1671 WEST STREET SOUTHINGTON, CT"; DATE: FEBRUARY 13, 2020; REVISED TO: 1-29-08; SCALE: 1"=100'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- 5) "SITE PLAN FOR ELENI & STAVROS PAPAHRISTOU #1615 WEST STREET SOUTHINGTON, CT"; DATE: AUGUST 9, 2007; SCALE: 1"=20'; PREPARED BY: KRATZERT, JONES & ASSOCIATES, INC.
- 6) SITE PLAN FOR ELENI REAL ESTATE LLC, CAVA RESTAURANT; #1671 WEST STREET SOUTHINGTON, CT. SCALE: 1"=20'; DATE: JUNE 13, 2018; BY KRATZERT, JONES & ASSOCIATES, INC.; KJA MAP 206-315 SHEET B-1.

SHRUB PLANTING

N.T.S.

PLACE PLANT IN VERTICAL PLUMB POSITION
PRUNE BROKEN & DAMAGED TWIGS AFTER PLANTING
BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL
TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING
COMPACTED OR UNDISTURBED SOIL

DECIDUOUS TREE PLANTING

N.T.S.

PLACE PLANT IN VERTICAL PLUMB POSITION
RUBBER HOSE LOOP & #12 WIRE
CEDAR STAKES, 2" X 2" X 8' KEEP PLUMB
BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL
TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING
PREPARED BACKFILL: 1 PART PEAT TO 3 PARTS TOPSOIL
COMPACTED OR UNDISTURBED SOIL

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	8	MOUNTAIN LAUREL	15"-18"
	8	HOLLY	18"-24"
	11	RHODODENDRON	3 GALLON
	9	HYDRANGEA	18"-24"
	14	KNOCK OUT ROSES	18"-24"
	12	AZALEA	2 GALLON
	8	BLUE SARGENT'S JUNIPER	15"-18"
	8	PURPLE CONE FLOWER	18"-24"
	8	DAYLILY	18"-24"
	8	BLACK EYED SUSAN	18"-24"
	(AS NEEDED PER PLAN)	BOXWOOD	(AS NEEDED PER PLAN)

PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
	3	SUGAR MAPLE	2 1/2" MIN. CALIPER
	4	PINK DOGWOOD	2 1/2" MIN. CALIPER
	5	PIN OAK	2 1/2" MIN. CALIPER
	5	BRADFORD PEAR	2 1/2" MIN. CALIPER
	4	FLOWERING CHERRY	2 1/2" MIN. CALIPER

PLANTINGS IN BASIN (TYP.)
(SEE BIORETENTION DETAILS)

N/F
SEPKO FARM LLC

NEW ENGLAND WET MIX (STORMWATER BASIN BOTTOMS)
by New England Wetland Plants, Inc. Amherst, MA 01002

APPLICATION RATE: 1 LB/5,000 S.F.

Fox Sedge (Carex Vulpinoidea), Hop Sedge (Carex Lupulina), Water Plantain (Alisma Plantago-Aquatica), Bearded Sedge (Carex Comosa), Nodding Bur-Marigold (Bidens Cernua), Lurid Sedge (Carex Lurida), Grass Leaved Goldenrod (Solidago Graminifolia), Soft Rush (Juncus Effusus), Blue Vervain (Verbena Hastata), Hard-Stem Bulrush (Scirpus Acutus), Boneset (Eupatorium Perfoliatum), Green Bulrush (Scirpus Atrovirens), Flat-Top Aster (Aster Umbellatus), Woolgrass (Scirpus Cyperinus), Sensitive Fern (Onoclea Sensibilis), Spotted Joe-Pye Weed (Eupatorium Maculatum), Soft-Stem Bulrush (Scirpus Validus), Ditch Stonecrop (Penthorum Sedoides)

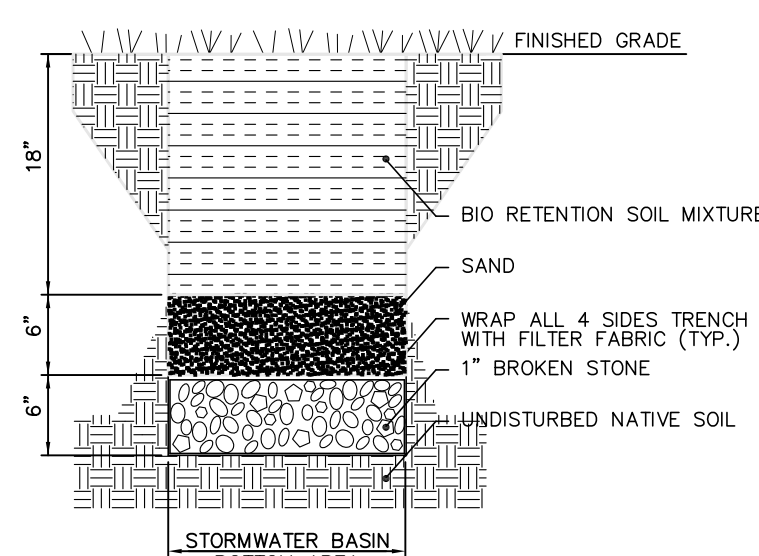
NEW ENGLAND CONSERVATION/WILDLIFE MIX (STORMWATER BASIN SIDE SLOPES)
by New England Wetland Plants, Inc. Amherst, MA 01002

APPLICATION RATE: 3 LB/5,000 S.F.

Big Bluestem (Andropogon Gerardi), Switchgrass (Panicum Virgatum), Little Bluestem (Schizachyrium Scoparium), Canada Wild-Rye (Elymus Canadensis), Fox Sedge (Carex Vulpinoidea), Partridge Pea (Chamaecrista Fasciculata), Fringed Bromegrass (Bromus Ciliatus), Pennsylvania Smartweed (Polygonum Pensylvanicum), Common Milkweed (Asclepias Syriaca), Nodding Bur-Marigold (Bidens Cernua), Showy Tick-Trefoil (Desmodium Illinoense), Silky Smooth Aster (Aster Laevis), Flat-Top Aster (Aster Umbellatus)

BIORETENTION SOIL MIXTURE

Item:	Composition by Volume:	Specification:
Planting Soil	30%	"Sandy Loam" with following Composition by Weight: Sand (2.0-0.050mm) 50-85%, Silt (0.050-0.002mm) 0-50%, Clay (<0.002mm) 10-20%, Organic Matter (1.5-10%)
Shredded 2x Hardwood Mulch	20%	
Sand	50%	ASTM C33 Fine Aggregate



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LANDSCAPING CHART

STREET TREES ARE REQUIRED ALONG ALL PUBLIC WAYS, NOT LESS THAN TWO PER EVERY 50 FEET OF FRONTAGE, OR PORTION THEREOF. SPECIES MUST BE FROM SECTION 4-07 OF THE SUBDIVISION REGULATIONS.

4-07 STREET TREES THE DEVELOPER SHALL LEAVE NOT LESS THAN TWO NATURALLY GROWING TREES HAVING 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT OR SHALL PLANT ONE TREE FOR EVERY 50 FEET OF LOT FRONTAGE OR PORTION THEREOF, BUT NO LESS THAN TWO TREES FROM THE SUGGESTED STREET TREE LIST WITH 3 INCH CALIPER IN THE FRONT YARD OF EACH LOT. THESE SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE STREET LINE TO A MAXIMUM OF 30 FEET FROM THE STREET LINE. STRAIGHT ROWS AND THE USE OF ONLY ONE VARIETY ARE TO BE AVOIDED, THE INTENT BEING TO CREATE A NATURAL MIXTURE OF APPROPRIATE SPECIES.

SUGGESTED STREET TREE LIST
ACER SACHARINUM
CERATOPHYLLUM
GINKGO BILOBA MALE
HEDERA TRE. INFERNS THORNLESS
LIQUIDAMBAR STYRACIFLUA
MAGNOLIA LILIFLORA
PLATANUS ACERIFOLIA
PRUNUS SARGENTII
PRUNUS CAERULEA
QUERCUS BOREALIS
QUERCUS PAULSTRI
TILIA CORDATA
TILIA TOMENTOSA
ZELKOVA SERATA
FRAXINUS PON. LANCEOLATA
CONSPICUOUS FLOWERING

SUGAR MAPLE
JAPONICUM KATSURA TREE
MALE GINKO
HONEYLOCUST
SWEETGUM
TULIP TREE
LONDON PLANE
SARGENTII
BRADFORD PEAR
CHANDLER PEAR
RED OAK
PIN OAK
LITTLE LEAF LINDEN
SILVER LINDEN
JAPANESE ELM
SEEDLESS GREEN ASH

LANDSCAPE NOTES

- ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
- SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
- INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
- BARE AND DISTURBED AREAS SHALL BE SEED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNER.
- ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.

ZONING TABLE		
ZONE - WBZ	REQUIRED	REQUIRED
LOT AREA	2.5 ACRES	2.13 ACRES
LOT COVERAGE	40%	11.9%
FRONT YARD SETBACK	75'	94.6'
SIDE YARD SETBACK	25'	48.3'
REAR YARD SETBACK	10'	73.8'
LOT FRONTAGE	400'	407.96'

OPEN SPACE	
12-02.05: ALL PARKING LOTS SHALL CONTAIN LANDSCAPED AREA IN THE RATIO OF NOT LESS THAN 20 SQUARE FEET FOR EACH PARKING SPACE.	
NUMBER OF PARKING SPACES = 179	
REQUIRED LANDSCAPED AREA = 3,580 S.F.	
LANDSCAPED AREA ON SITE = 4,000 S.F.	

NOTES:

- PARCEL OWNER: ELENI REAL ESTATE LLC
- AREA: SEE MAP
- ADDRESS: #1615 WEST STREET
- ZONE: WBZ (SEE ZONING TABLE)
- SITE IS SERVICED BY PUBLIC WATER & PUBLIC SEWER.
- THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

LEGEND	
	PROPERTY LINE
	IP TO BE SET
	EXISTING IRON PIN
	PROPOSED MONUMENT
	EXISTING MONUMENT
	EXIST. EDGE OF ROAD
	PROP. EDGE OF ROAD
	EXISTING EDGE OF CURB
	PROPOSED EDGE OF CURB
	PROPOSED DRIVEWAY
	GAS SERVICE
	SEWER SERVICE
	WATER SERVICE
	ELECTRIC SERVICE
	EXISTING GAS VALVE
	EX. STORM DRAINAGE
	PROP. STORM DRAINAGE
	EX. CONTOURS
	PROP. CONTOURS
	SILT FENCE
	EX. CATCH BASIN
	PROP. CATCH BASIN
	STORM DRAINAGE MANHOLE
	SANITARY SEWER MANHOLE
	UTILITY POLE
	WATER GATE
	HYDRANT
	LIGHT POLE
	DUMPSTER

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REVISION:		
REVISION:		
REVISION:		
REVISION:		
REVISION: 8/28/20 TOWN COMMENTS		
PROJECT: 207105		
DB:	SR:	DR:
MPT	SZ/DH	SB

James N. Sokonick
CT P.E. & L.S. #11302

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LAYOUT &
LANDSCAPING PLAN

FOR

ELENI REAL
ESTATE LLC

#1615 WEST STREET
SOUTHTON, CT

SCALE: 1"=20'

DATE: MARCH 19, 2020

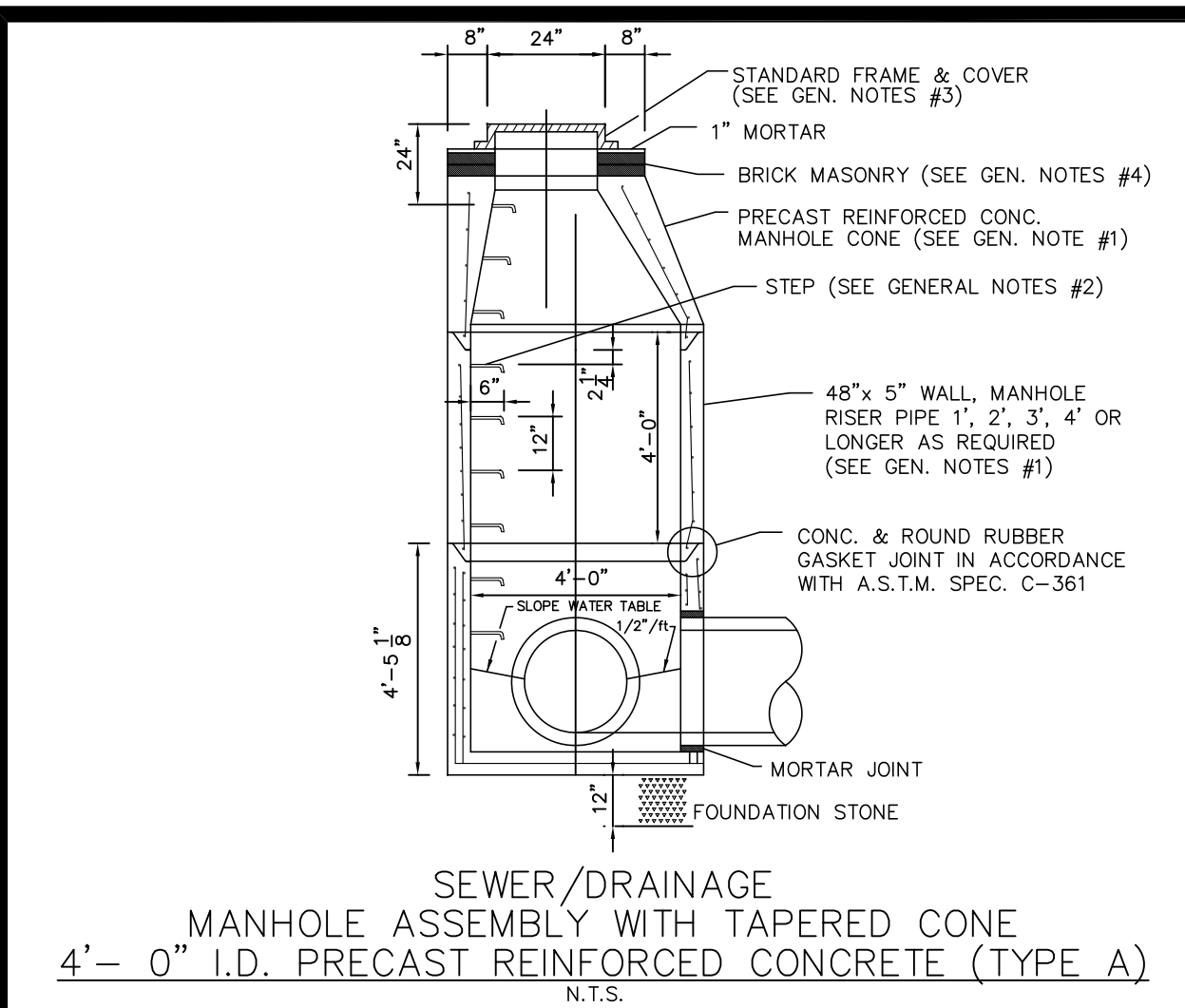
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INCHES ON ORIGINAL		

KJA FILE NO. :

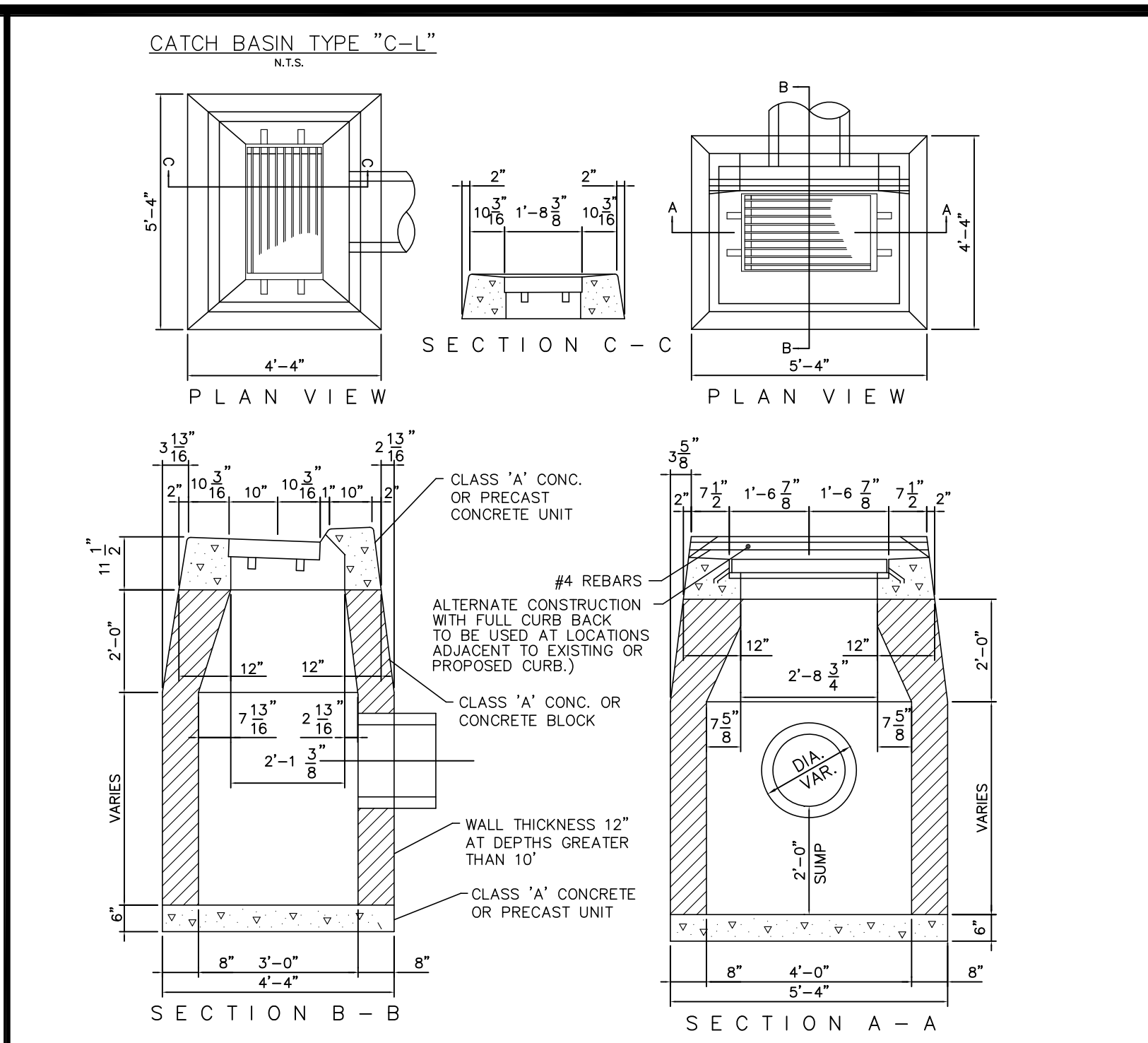
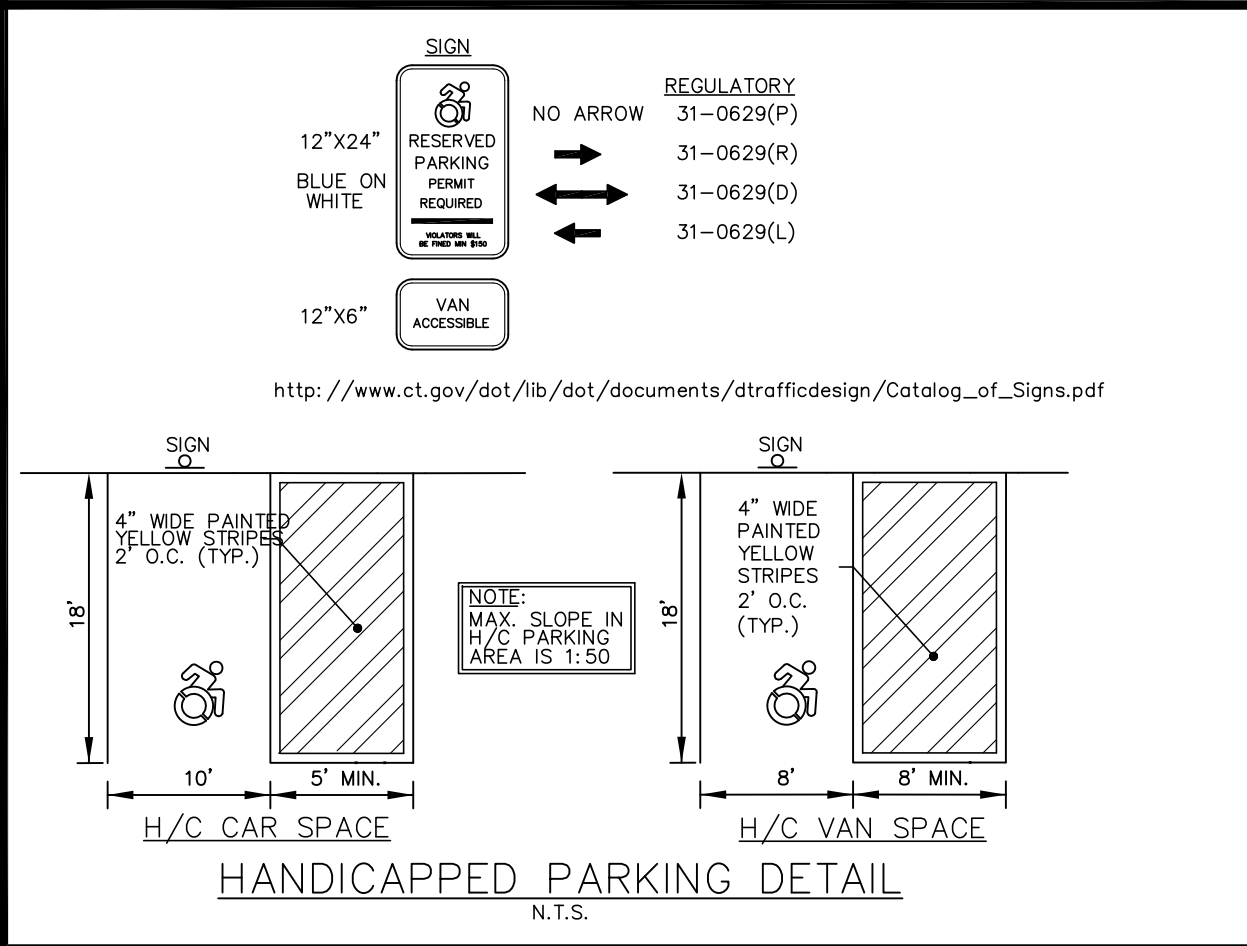
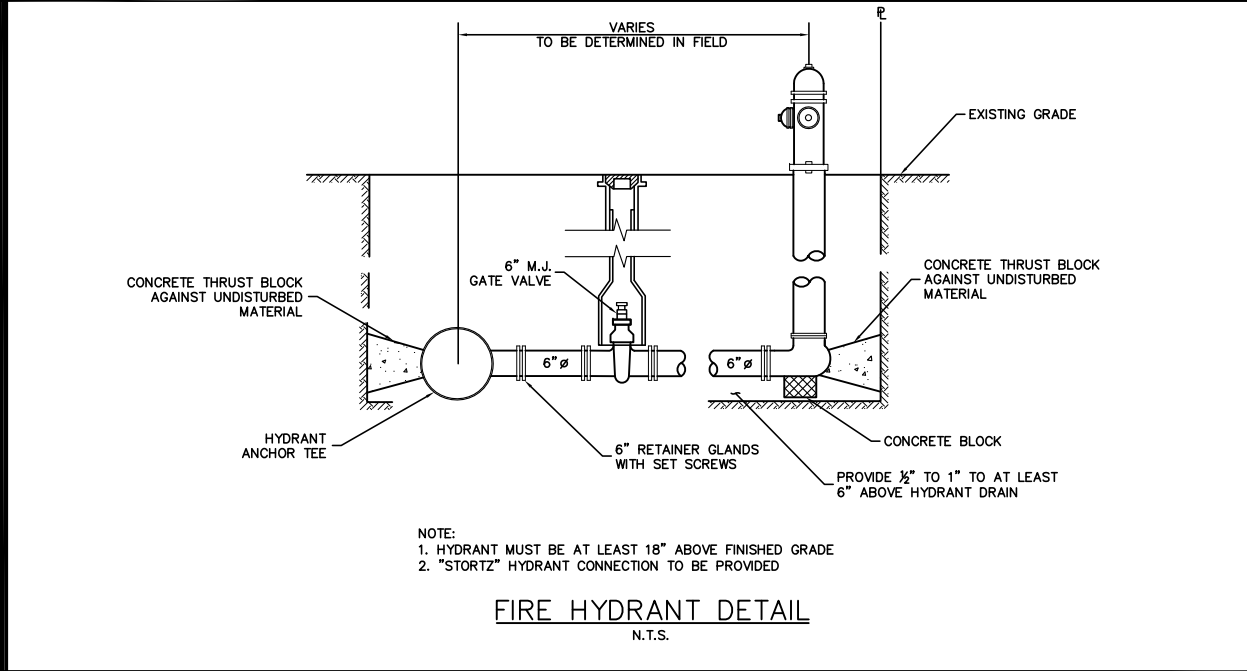
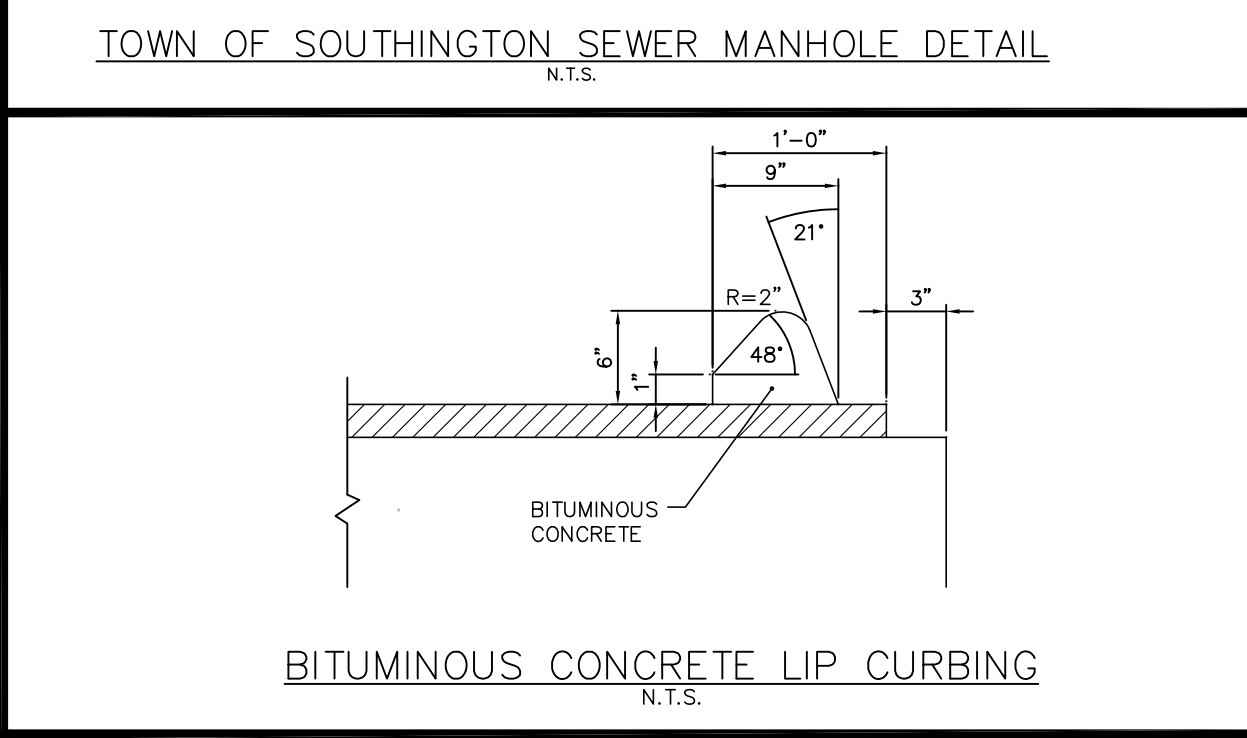
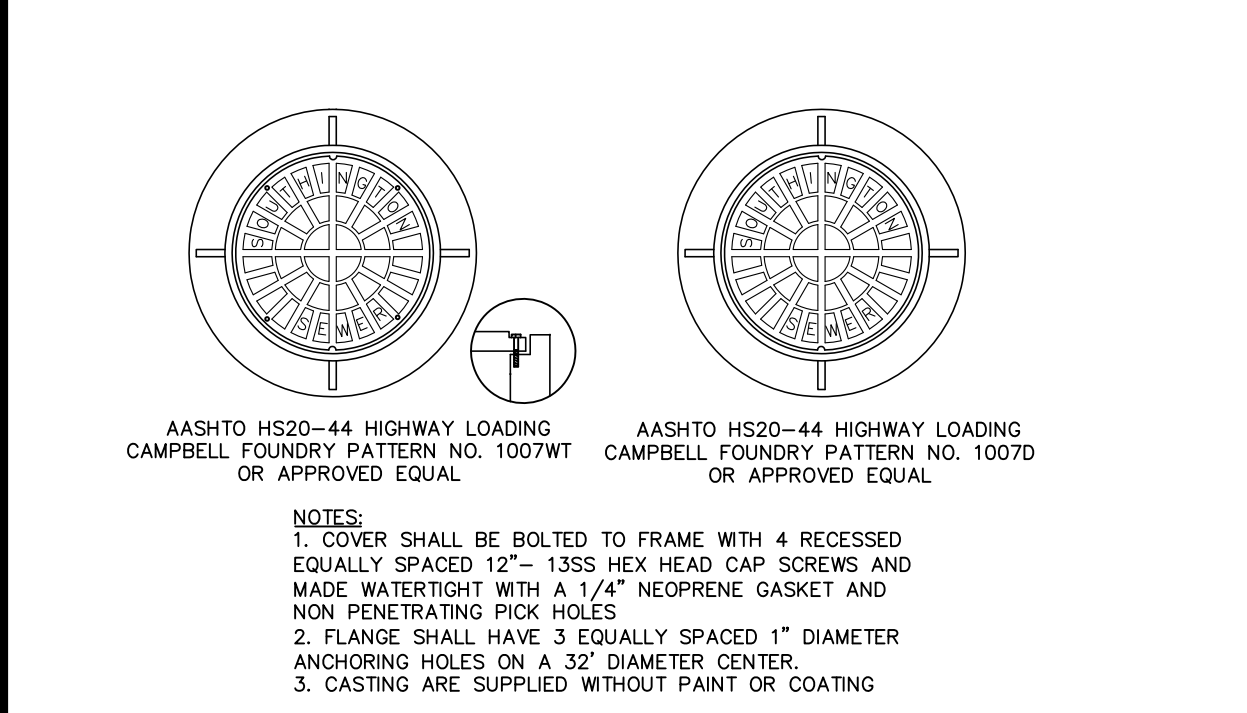
DRAWING NO. :

43-45

L-1



GENERAL NOTES:
 1. OUTSIDE OF MASONRY TO BE COVERED WITH 1/2" CEMENT PLASTER AND WATERPROOFED. WATERPROOFING SHALL CONSIST OF (2) COATS OF BITUMINOUS WATERPROOFING MATERIAL TO BE EXTENDED OVER ENTIRE FACE OF MANHOLE.
 2. 1" GALV. W.I. OR STAINLESS STEEL BARS SPACED 12" O.C. OR EVERY 5TH BRICK COARSE AND ANCHORED OR PENETRATING A MINIMUM OF 6 1/2" IN THE MASONRY.
 3. C.I. MANHOLE FRAME & COVER CATALOG NUMBERS 1007D & 1007WT BY CAMPBELL FOUNDRY LABELED "SOUTHINGTON SEWER".
 4. PROVIDE MINIMUM OF (2) COARSE OF BRICK MASONRY TO ADJUST FRAME TO GRADE & SLOPE.
 5. MANHOLE'S SHALL BE CONSTRUCTED OF MATERIALS CONSISTING, -BRICK, CONCRETE BLOCK, OR PRE-CAST

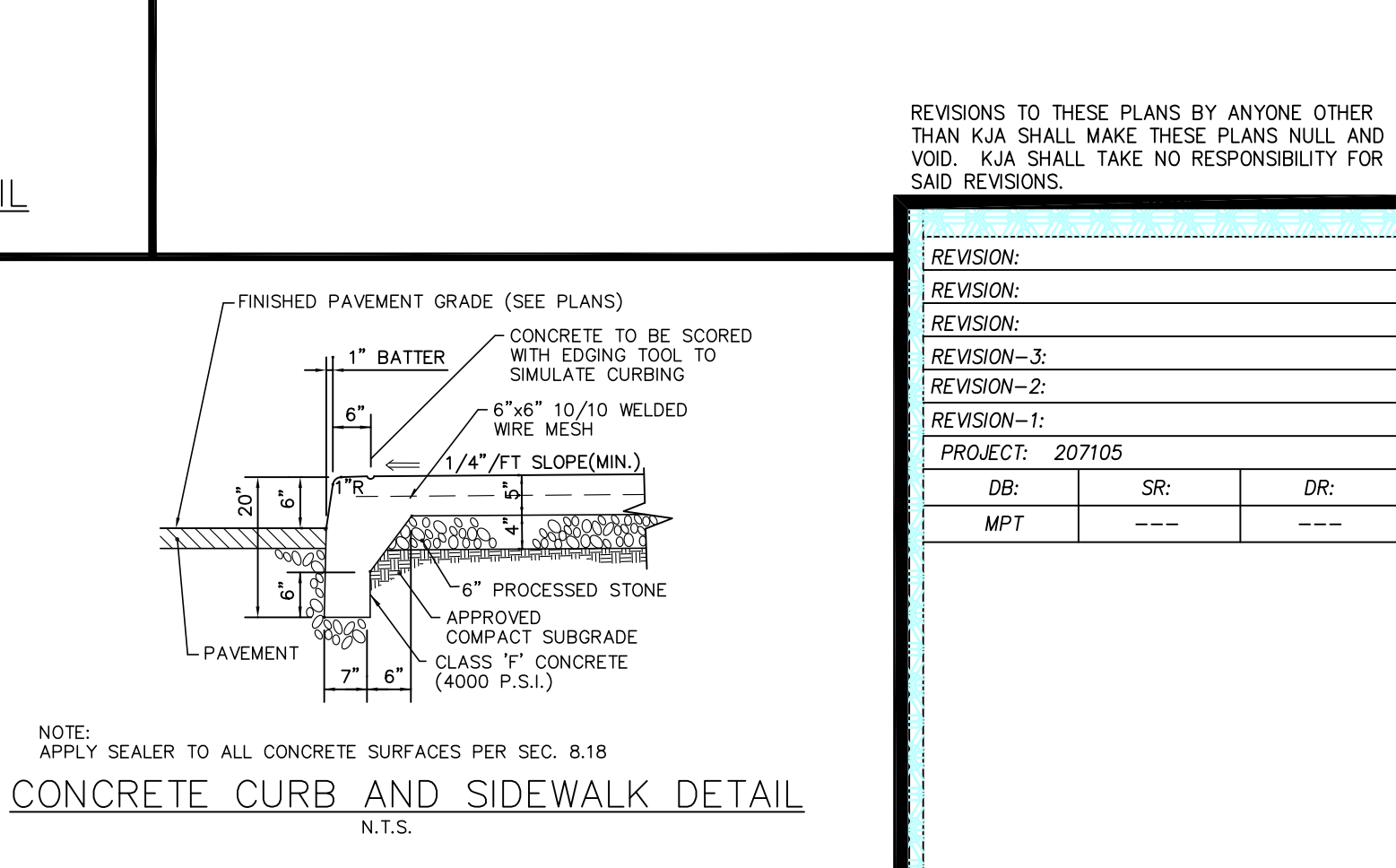
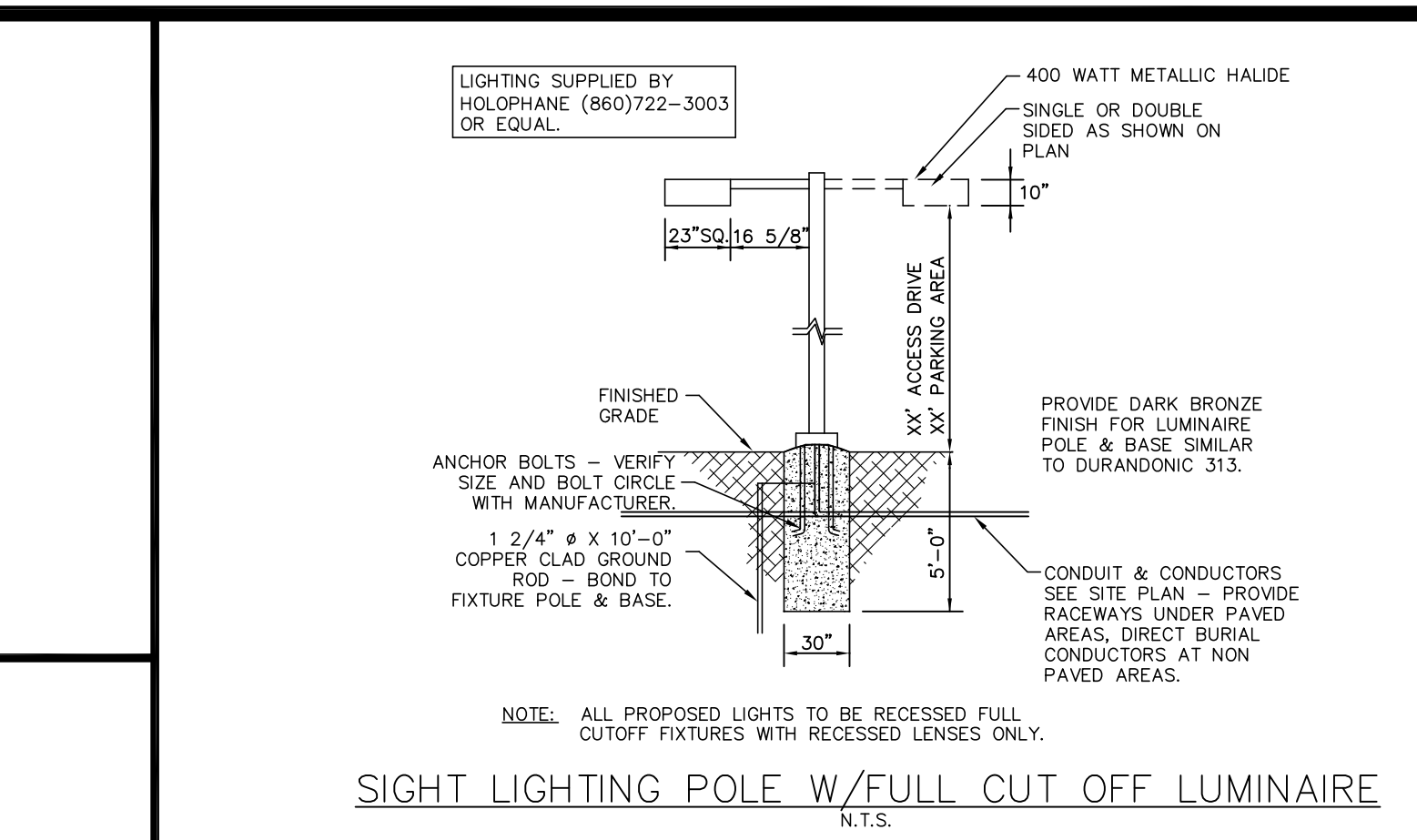
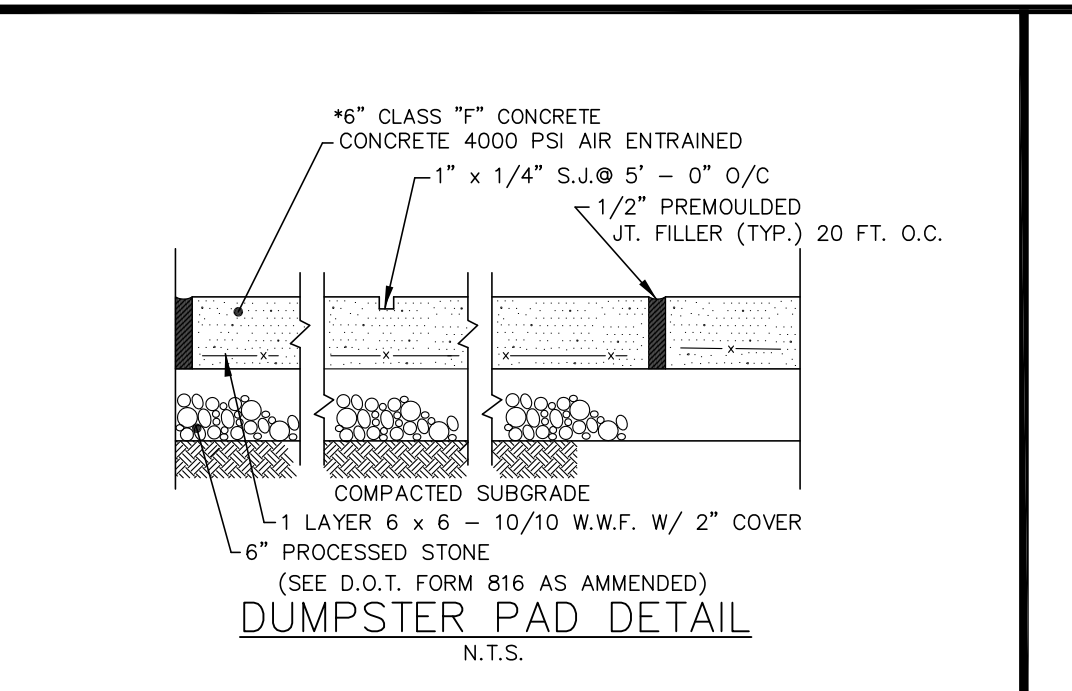
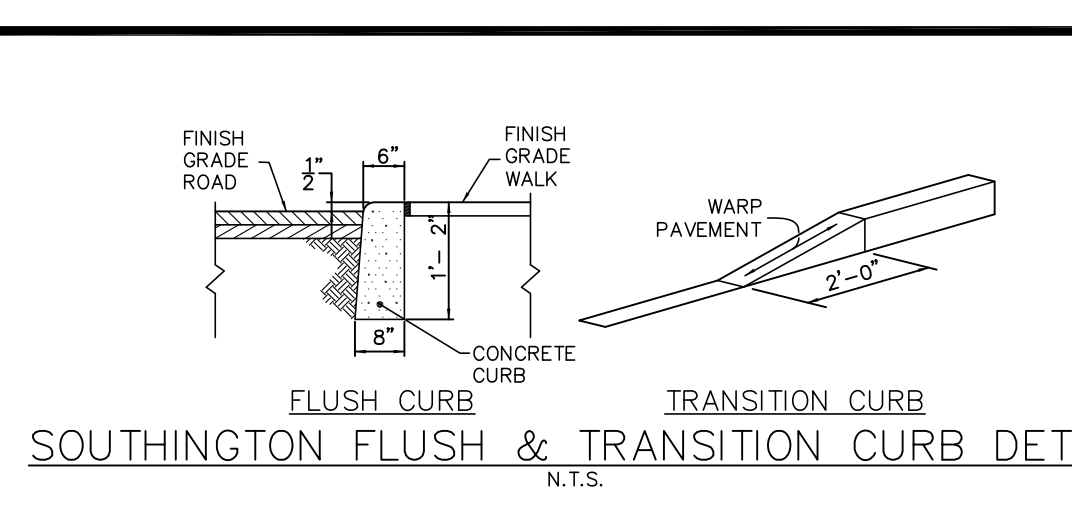
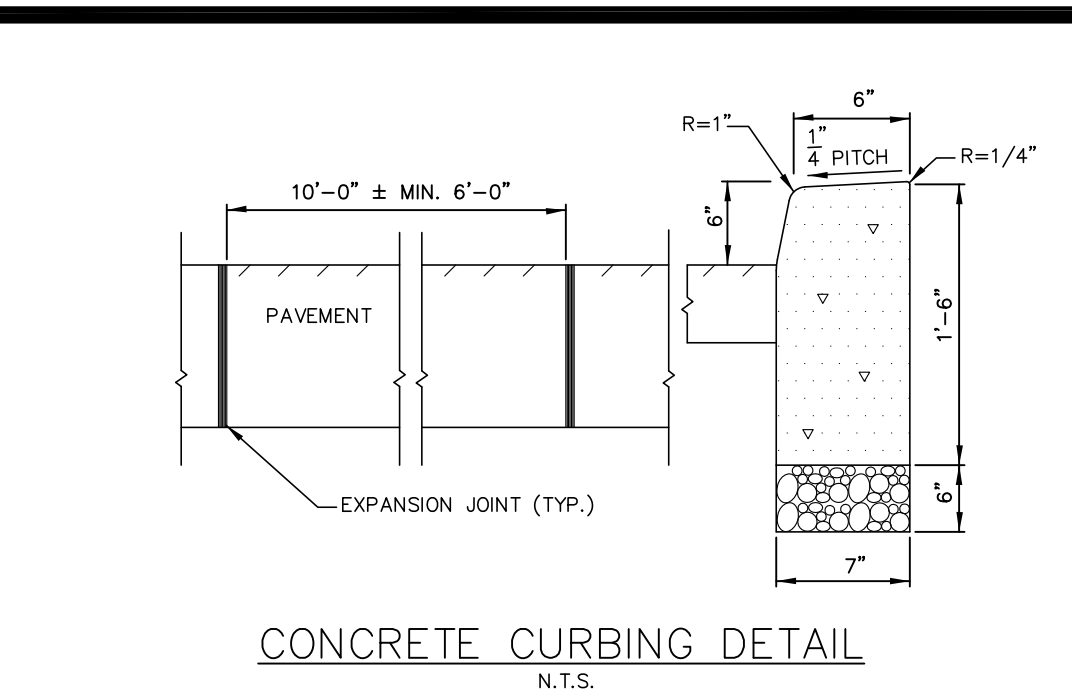
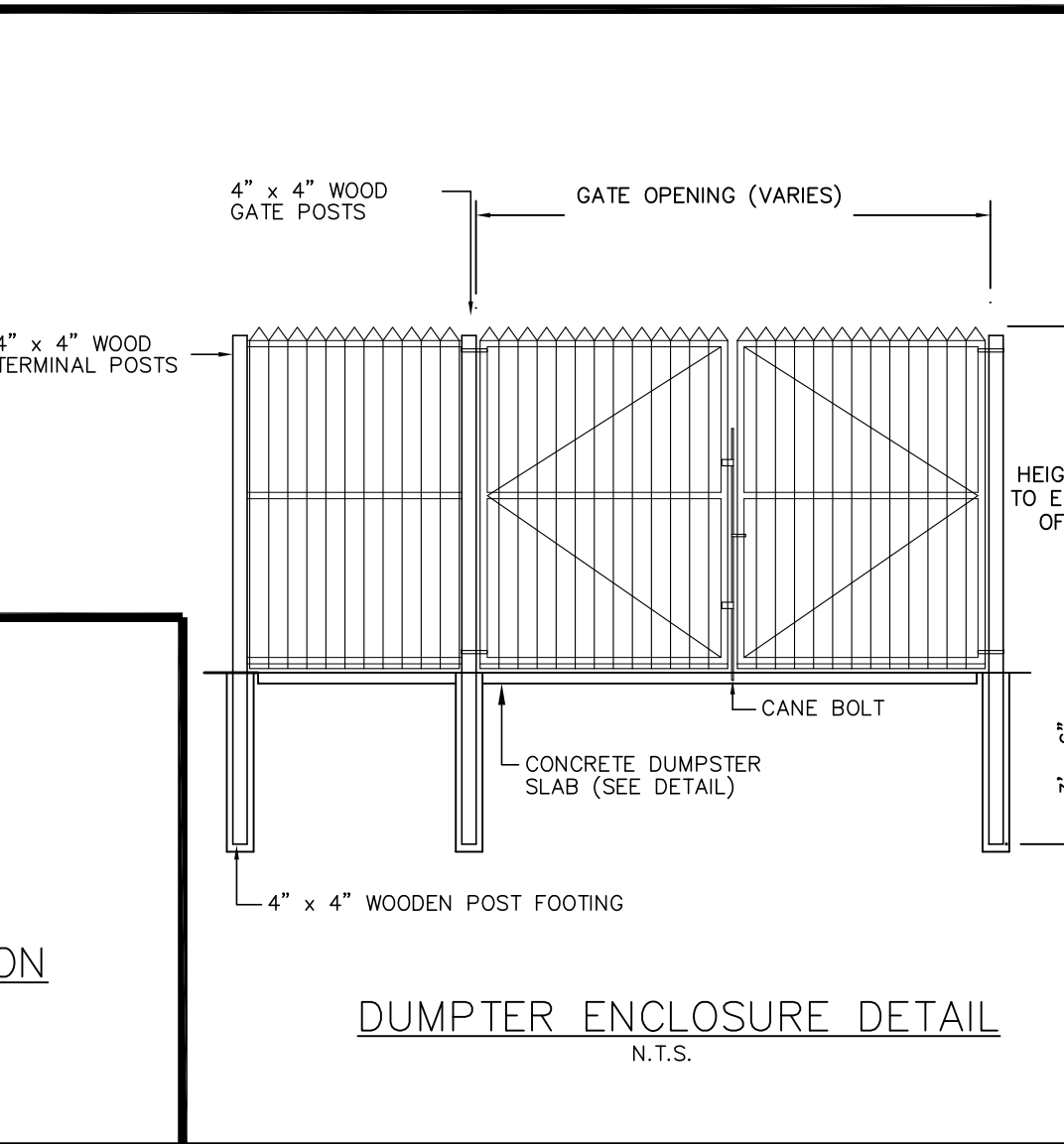
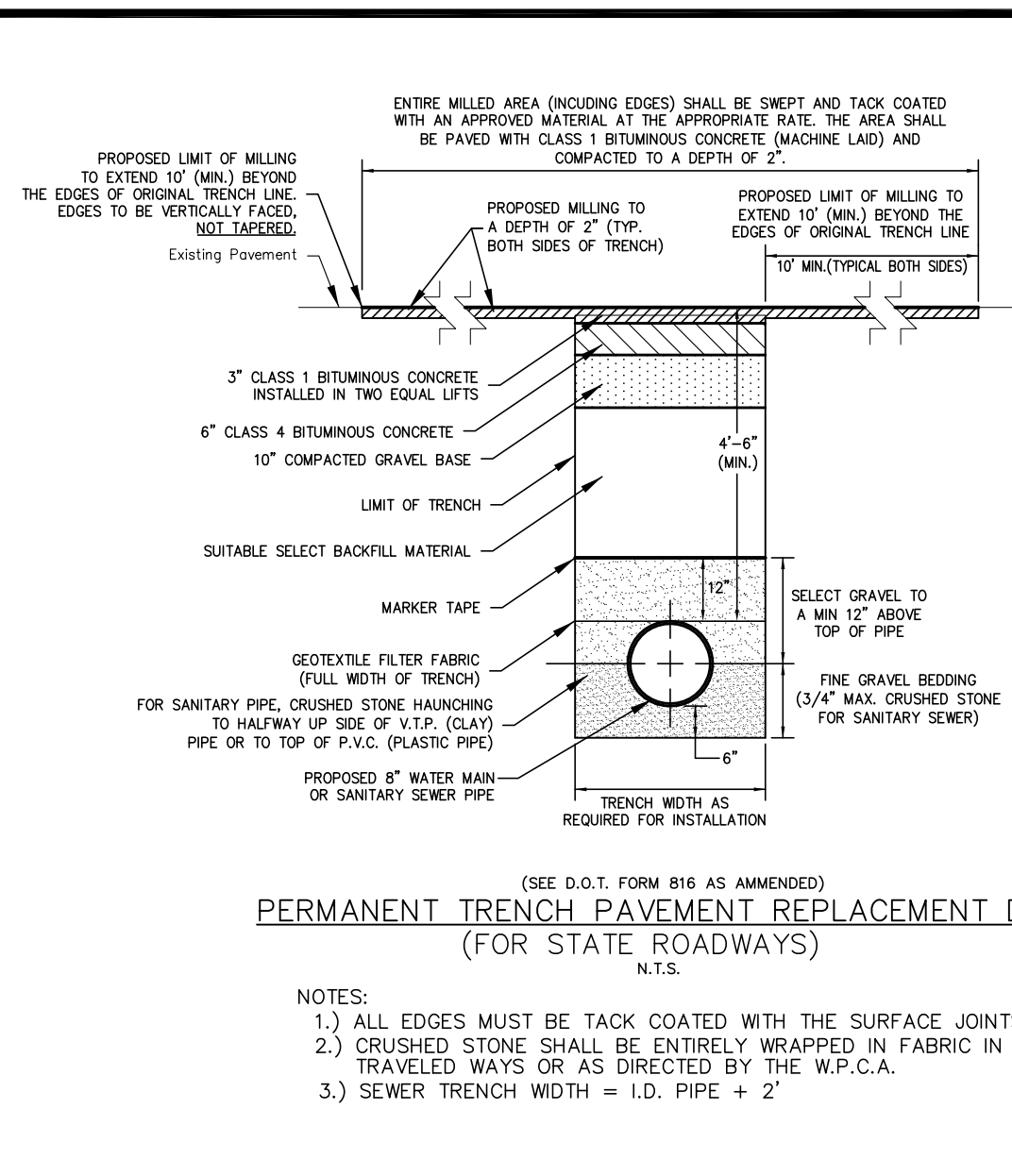
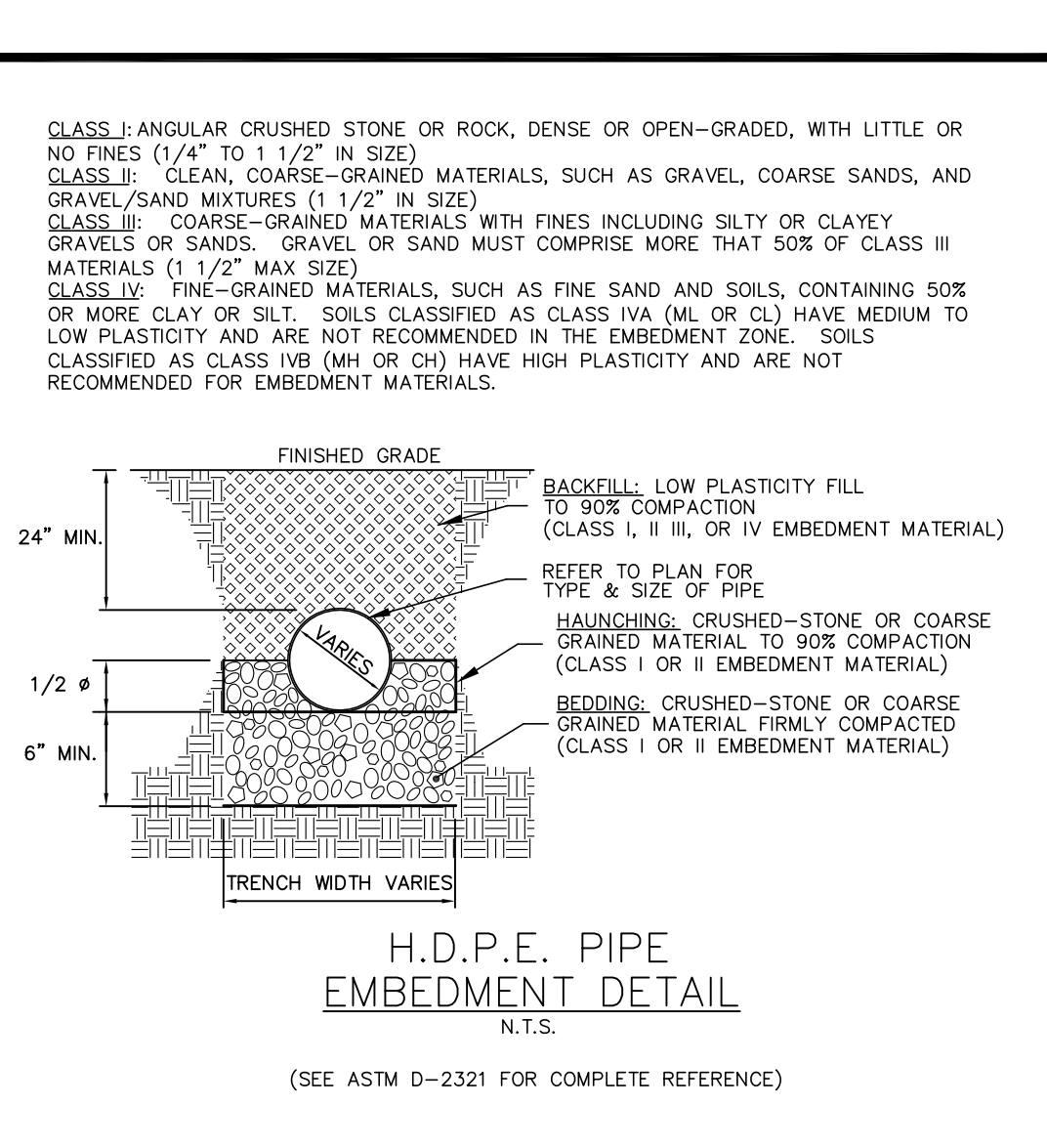
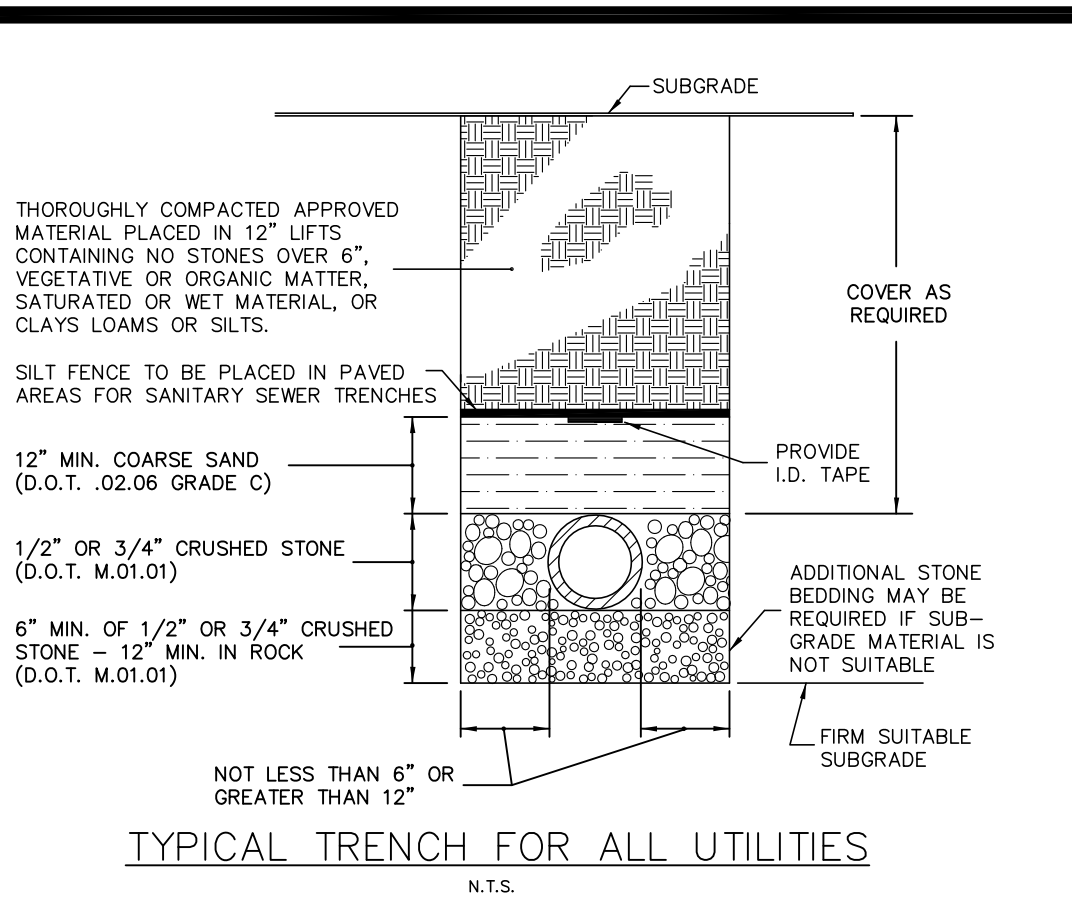
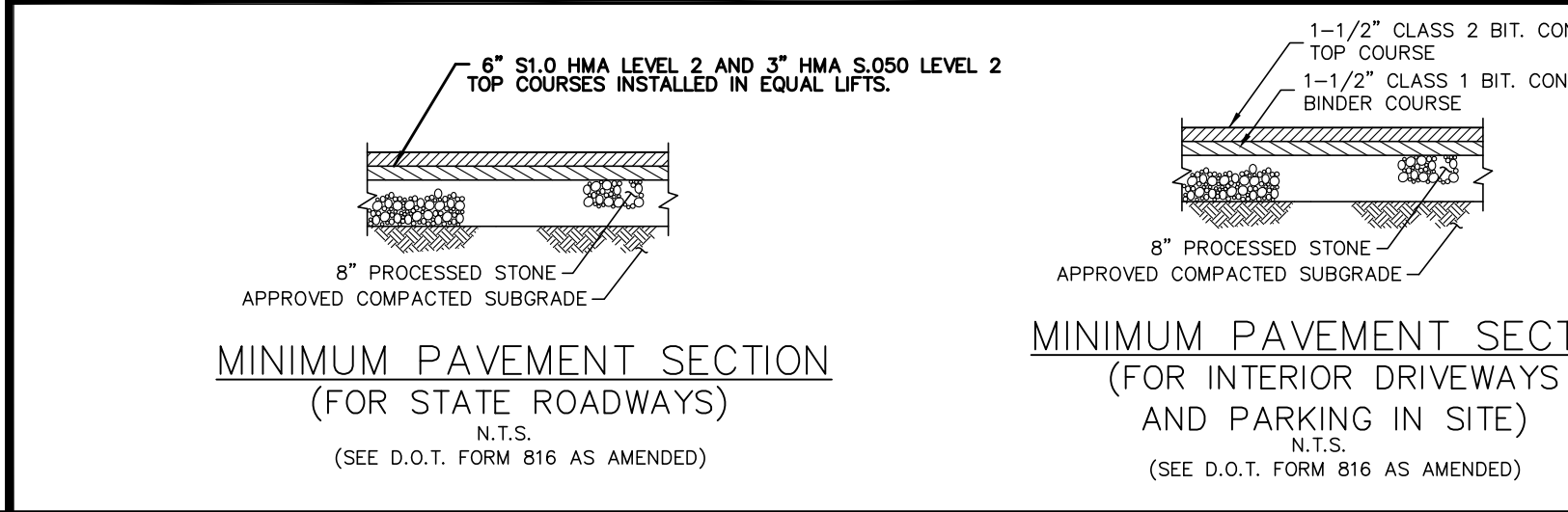
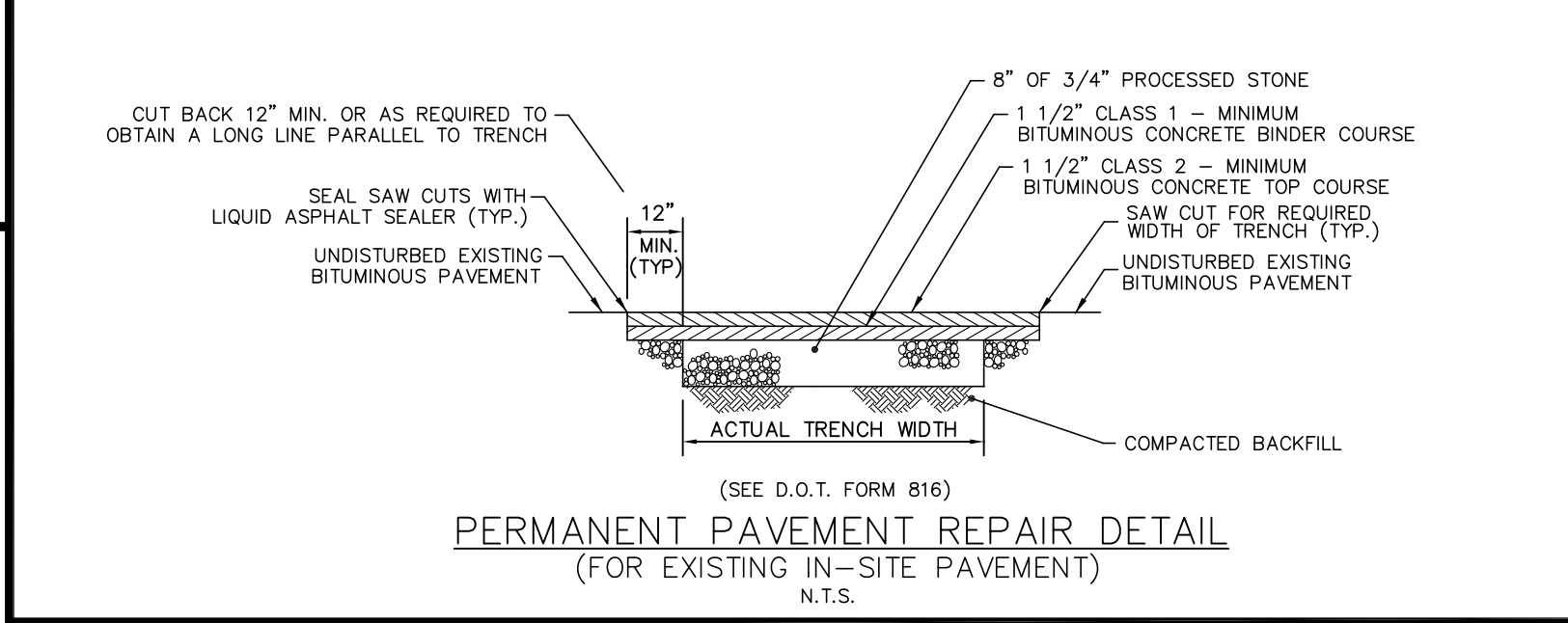
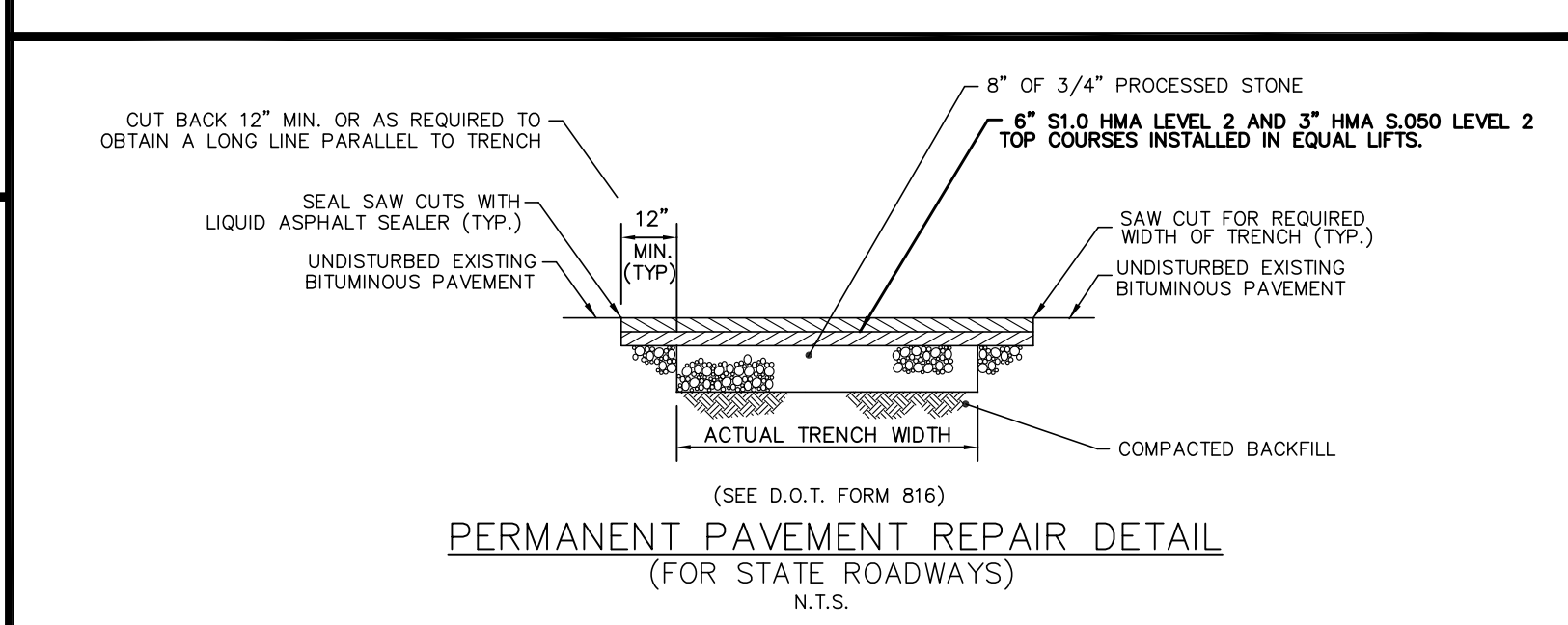


*ALL CATCH BASINS SHALL BE TO D.O.T. STANDARD PER FORM 816 (AS AMENDED). NO UNNECESSARY KNOCKOUTS WILL BE ALLOWED.

DIMENSIONS FOR REINFORCED CONCRETE CULVERT END									
DIA.	A	B	C	D	E	F	R ₁	R ₂	
18"	6"	2'-3"	3'-10"	6'-1"	2'-8"	2'-0 5/16"	1'-0 1/2"	11"	
18"	8"	2'-3"	3'-10"	6'-1"	3'-0"	2'-0"	1'-3 1/2"	11"	
24"	9 1/2"	3'-3 1/2"	2'-4"	6'-1 1/2"	4'-0"	2'-9 3/16"	1'-4 13/16"	1'-2"	
30"	1'-0"	4'-8"	1'-7 3/4"	8'-1 3/4"	5'-0"	3'-1"	1'-8 1/2"	1'-3"	
36"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	3'-11 13/16"	2'-0 5/16"	1'-8"	

PLAN
 SECTION Y-Y
 END VIEW

REINFORCED CONCRETE FLARED END DETAIL N.T.S.



REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION:		
REVISION:		
REVISION:		
REVISION-3:		
REVISION-2:		
REVISION-1:		
PROJECT: 207105		
DB:	SR:	DR:
MPT	---	---

NOT ALL DETAILS ON THIS PLAN MAY BE APPLICABLE

James N. Sakonchick
 CT P.E. & L.S. #11302

kratzer, jones & associates, inc.
 CIVIL ENGINEERS • LAND SURVEYORS
 SITE PLANNERS • BUILDING ENGINEERS

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 MIDDLED, CT 06467-0337

PHONE: (860) 621-3638
 FAX: (860) 621-9609
 EMAIL: INFO@KRATZERJONES.COM

STANDARD SITE DETAILS

for
 ELEN REAL ESTATE LLC

#1615 WEST STREET
 SOUTHINGTON, CT

SCALE: AS NOTED
 DATE: MARCH 19, 2020

HALF ONE INCH TWO INCH
 INCHES ON ORIGINAL

KJA FILE NO.:
 DRAWING NO.:
 43-45 D-1

MAINTENANCE PLAN 2020-2024
 LAYOUT: 0-1 DATE: Sep 07, 2020 11:55am

SIGN 'A'

EMPLOYEE PARKING ONLY

SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
18X12	NONE	1	0.080

SIGN 'B'

EMPLOYEE PARKING ONLY

SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
18X12	NONE	1	0.080

SIGN 'C'

STOP

AREA (SF)	SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
3.31	24	31-0536	1	0.080

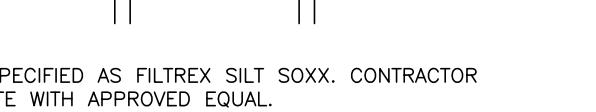
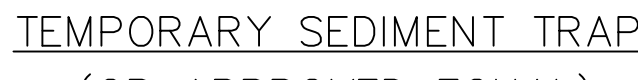
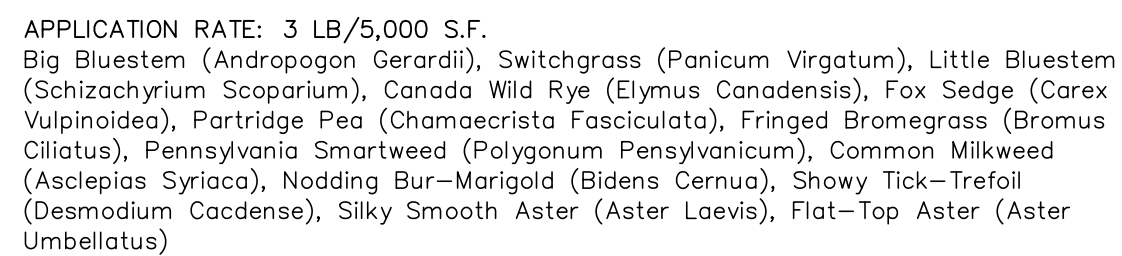
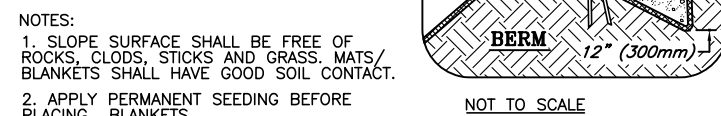
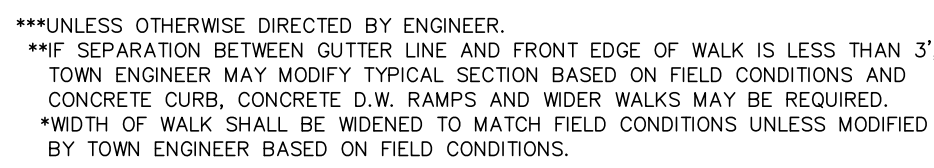
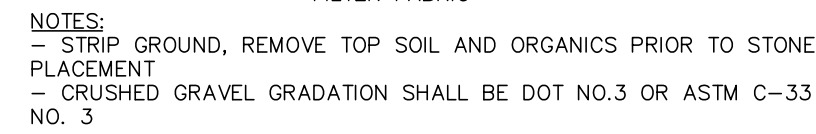
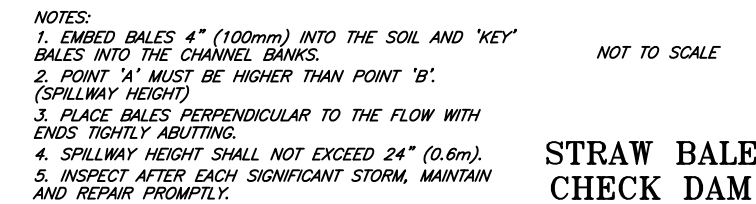
SIGN 'D'

DO NOT ENTER

SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
30	31-1109	1	0.080

SIGN 'E'

SIZE (INCHES)	CONN. D.O.T. #	POSTS	ALUM. THK.
24X24	31-1603	1	0.080



PIPE SIZE	A	B	C	D	E	F	G	H	WT. RIP (TONS)	RAP	DEPTH
15"	10'	7'	1.5'	1'	1'	4.5'	1.5'	3'	6		1'-0"
18"	12'	8'	2'	1'	1'	5'	2'	4'	8		1'-4"
21"	15'	9'	2.5'	1.5'	1'	7'	2.5'	4.5'	12		1'-6"
24"	17'	10'	2.5'	1.5'	1'	8'	2.5'	5.5'	15		1'-10"
27" & 30"	20'	13'	3'	2'	2'	9'	3'	6'	22		2'-0"
36"	24'	16'	3.5'	2'	2'	9.5'	3.5'	7'	33		2'-4"

